

MEETING OF: October 16, 2015
CALENDAR NO.: 270-14-BZ
PREMISES: 203 East 92nd Street, Manhattan
Block 1538, Lot 10
BIN No. 1802703

ACTION OF THE BOARD – Application granted on condition.

THE VOTE TO GRANT –

Affirmative: Chair Perlmutter, Vice-Chair Hinkson, Commissioner Ottley-Brown and Commissioner Montanez.....4
Negative:.....0
Abstain: Commissioner Chanda.....1

THE RESOLUTION –

WHEREAS, the decision of the Department of Buildings (“DOB”), dated October 22, 2014, acting on DOB Application No. 120921002, reads, in pertinent part:

ZR 32-10 Proposed Physical Culture Establishment is not permitted as-of-right in a C4-6 district as per ZR 32-10; and

WHEREAS, this is an application under ZR §§ 73-36 and 73-03, to permit, on a site within a C4-6 zoning district, the operation of a physical culture establishment (“PCE”) within portions of a proposed mixed-use building, contrary to ZR § 32-10; and

WHEREAS, a public hearing was held on this application on May 19, 2015, after due notice by publication in the City Record, with continued hearings on June 23, 2015, July 14, 2015, August 25, 2015, and then to decision on October 16, 2015; and

WHEREAS, Vice Chair Hinkson, Commissioner Montanez, and Commissioner Ottley-Brown performed site and neighborhood examinations of the premises and surrounding area; and

WHEREAS, Community Board 8, Manhattan, recommends disapproval of this application; and

WHEREAS, the subject site is a through lot with 159 feet of frontage on the north side of East 92nd Street, 159 feet of frontage on the south side of East 93rd Street and a depth of 201 feet for a total of 31,958 sq. ft. of lot area; and

WHEREAS, the site is located within a C4-6 zoning district; and

WHEREAS, the site is currently under development with a planned 36-story mixed-use building; and

WHEREAS, the first through sixth floors will be occupied by a mix of residential, commercial and community facility uses, with residential use on the upper floors; and

WHEREAS, the proposed PCE will occupy portions of the cellar (5,511 sq. ft.), first floor (3,996 sq. ft.), fifth floor (14,014 sq. ft.) and sixth floor (14,522 sq. ft.) for a total of 32,532 sq. ft. of floor area; and

WHEREAS, the proposed PCE will be operated as Equinox; and

WHEREAS, the applicant states that the seventh floor (above the PCE) will be occupied by a leasing office, bicycle storage, mechanical rooms, a terrace, a residential meeting room and the building superintendent’s apartment; and

WHEREAS, the PCE’s proposed hours of operation are Monday through Saturday, from 5:30 a.m. to 11:00 p.m., and on Sunday, from 7:00 a.m. to 9:00 p.m.; and

WHEREAS, at hearing, the Board inquired into the sound attenuation measures in the sixth-floor ceiling; and

**WHEREAS**, the applicant responded that only low noise cardio activity will be located in the area below the superintendent's apartment and submitted a plan sheet, which reflects a hung ceiling to be fully enclosed and to include insulation material to mitigate any sound impact the PCE might have on the seventh floor; the applicant also submitted the sound consultant's notes on the expected STC ratings of the 8-inch concrete floor and the drop ceiling with gypsum board; and

**WHEREAS**, the applicant also included plans to reflect the proposed location of sound attenuation measures, including the only high activity areas on the fifth floor that would be adjacent to the proposed school on the fourth floor; and

**WHEREAS**, the Department of Investigation has performed a background check on the corporate owner and operator of the establishment and the principals thereof, and issued a report which the Board has determined to be satisfactory; and

**WHEREAS**, the Fire Department states that it has no objection to the proposal; and

**WHEREAS**, the PCE does not interfere with any pending public improvement project; and

**WHEREAS**, accordingly, the Board finds that this action will neither: (1) alter the essential character of the surrounding neighborhood; (2) impair the use or development of adjacent properties; nor (3) be detrimental to the public welfare; and

**WHEREAS**, the Board finds that, under the conditions and safeguards imposed, any hazard or disadvantage to the community at large due to the proposed special permit use is outweighed by the advantages to be derived by the community; and

**WHEREAS**, therefore, the Board has determined that the evidence in the record supports the requisite findings pursuant to ZR §§ 73-36 and 73-03; and

**WHEREAS**, the project is classified as a Unlisted Action pursuant to 6 NYCRR Part 617.2; and

**WHEREAS**, the site is the subject of a New York City Planning ULURP Action; and

**WHEREAS**, the site has existing institutional controls, specifically an "E designation, (E-311) relating to noise as identified in the August 21, 2013 Negative Declaration CEQR No. 13DCP121M; and

**WHEREAS**, the text of the 'E designation states as follows: In order to ensure an acceptable interior noise environment, future school/residential/commercial uses must provide a closed window condition with up to 41dBA of window/wall attenuation in order to maintain an interior noise level of 45 dBA . In order to maintain a closed window condition, alternate means of ventilation that brings outside air into the building without degrading the acoustical performance of the building must also be provided. Alternate means of ventilation includes, but not limited to, central air conditioning. The specific attenuation requirements to be implemented throughout the project building facades are provided in the 203-205 East 92<sup>nd</sup> Street Technical Memorandum .Table 6 (CEQR No. 13DCP121M), August 2013; and

**WHEREAS**, no other significant effects upon the environment that would require an Environmental Impact Statement are foreseeable; and

**WHEREAS**, the Board finds that, under the conditions and safeguards imposed, any hazard or disadvantage to the community at large due to the proposed special permit use is outweighed by the advantages to be derived by the community; and

**Therefore it is Resolved**, that the Board of Standards and Appeals adopts the Negative Declaration determination issued by the New York City Department of City Planning on August 21, 2013 for CEQR No. 13DCP121M as prepared in accordance with Article 8 of the New York State Environmental Conservation Law and 6 NYCRR Part 617 and § 6-07(b) of the Rules of Procedure for City Environmental Quality Review and Executive Order No. 91 of 1977, as amended, and makes each and every one of the required findings under ZR §§ 73-36 and 73-03, to permit, on a site within a C4-6 zoning district, the operation of a PCE on portions of the cellar, first floor, fifth floor and sixth floor of a new 36-story mixed-use building, contrary to ZR § 32-10; *on condition* that all work will substantially conform to drawings filed with this application marked "July 2, 2015"-(18) sheets; *on further condition*:

**THAT** the term of the PCE grant will expire on October 16, 2025;

**THAT** there will be no change in ownership or operating control of the PCE without prior application to and approval from the Board;

**THAT** all signage displayed at the site by the applicant shall conform to applicable regulations;

**THAT** the hours of operation will be limited to Monday through Saturday, from 5:30 a.m. to 11:00 p.m., and on Sunday, from 7:00 a.m. to 9:00 p.m.;

**THAT** the above conditions will appear on the Certificate of Occupancy;

**THAT** accessibility compliance will be as reviewed and approved by DOB;

**THAT** fire safety measures will be installed and/or maintained as shown on the Board-approved plans;

**THAT** this approval is limited to the relief granted by the Board in response to specifically cited objection(s);

**THAT** the approved plans will be considered approved only for the portions related to the specific relief granted; and

**THAT** DOB must ensure compliance with all of the applicable provisions of the Zoning Resolution, the Administrative Code, and any other relevant laws under its jurisdiction irrespective of plan(s)/configuration(s) not related to the relief granted.

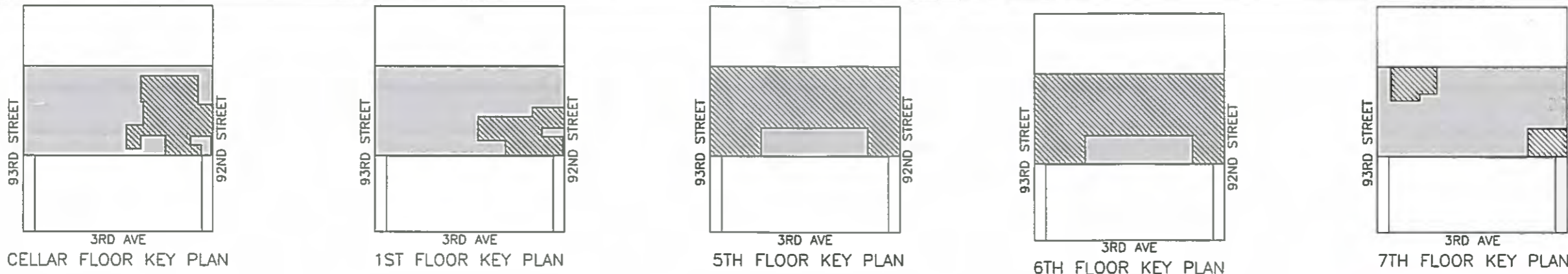
**Adopted by the Board of Standards and Appeals, October 16, 2015.**

**CERTIFICATION**

*This copy of the Resolution  
dated October 16, 2015  
is hereby filed by  
the Board of Standards and Appeals  
dated December 2, 2015*



**Ryan Singer  
Executive Director**



CELLAR FLOOR KEY PLAN

1ST FLOOR KEY PLAN

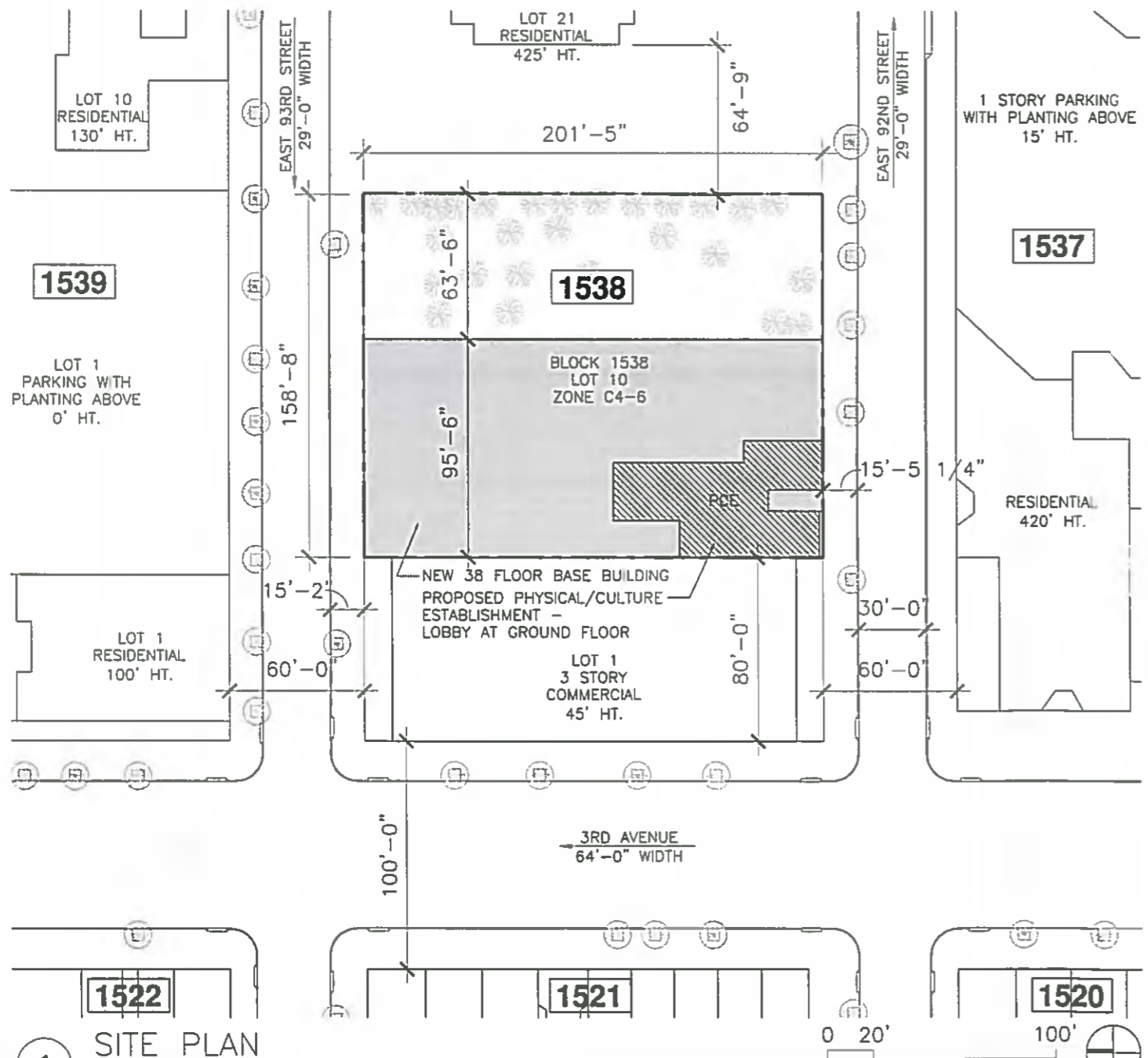
5TH FLOOR KEY PLAN

6TH FLOOR KEY PLAN

7TH FLOOR KEY PLAN

2 KEY PLANS

SCALE: 1/128" = 1'-0"



1 SITE PLAN

SCALE: 1/64" = 1'-0"

BSA# :

ZONING AREA:

ADDRESS: 203 E. 92ND STREET

BLOCK#: 1538

LOT#: 10

ZONING DISTRICT: C4-6

ZONING MAP: 6B

LOT AREA: 31,958 S.F.

PROPOSED USE GROUP: PCE (BSA SPECIAL PERMIT)

PROPOSED OCCUPANCY GROUP: A3

BUILDING FLOOR AREA TOTAL: 466,253 SF

BUILDING ZONING FLOOR AREA TOTAL: 384,300 SF

**APPROVED PLANS**  
**BOARD OF STANDARDS AND APPEALS**

The approval of these plans is limited solely to the relief granted by the Board. All plans are subject to Department of Buildings review for compliance with all other applicable laws, rules and regulations.

Refer to the Certified Resolution language for the scope and specific description of the BSA approval.

STORY	EQUINOX	BASE BUILDING	OCCUPANCY
CELLAR	5,511 SF*	23,914 SF	92
1ST FL	3,996 SF	17,314 SF	131
5TH FL	14,014 SF	14,682 SF	242
6TH FL	14,522 SF	15,098 SF	234
7TH FL	2,546 SF*	4,652 SF	9
FLS 2-4, 8-38 HAVE NO PCE RELATED TO THIS FILING		308,640 SF	
TOTAL	32,532 SF	384,300 SF	708

TOTAL FLOOR AREA: 40,589 SF PHYSICAL CULTURAL ESTABLISHMENT

\*CELLAR AREA AND 7TH FLOOR ARE SHOWN FOR REFERENCE AND ARE EXEMPT FROM THE BUILDING'S ZONING FLOOR AREA

HOURS OF OPERATION:

MONDAY THROUGH FRIDAY: 5:00AM - 11:30PM  
SATURDAY & SUNDAY: 7:00AM - 9:00PM



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Project  
**EQUINOX**  
**92ND STREET**

Drawn by TC

Checked by JS

Scale AS NOTED

Project no. 13666

Date 07.02.15

Sheet title

**SITE PLAN**

Sheet no.

**BSA-1**

**APPROVED PLANS  
BOARD OF STANDARDS AND APPEALS**

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ROOM NO.	ROOM NAME	FLOOR AREA	OCCUPANCY GROUP	NO. OF PERSONS
C01	FUNCTIONAL TRAINING	3,511	A-3	72
C02	ELECTRICAL ROOM	94	F-2	-
C03	EMPLOYEE LOUNGE	232	A-3	15
C04	EMPLOYEE WC	65	-	-
C05	SUMP PIT	53	-	-
C06	LAUNDRY	394	F-2	3
C07	ATS CLOSET	25	-	-
C08	EMR	100	-	-
C09	WC	48	-	-
C10	ELECTRICAL ROOM	80	F-2	-
C11	TESTING OFFICE	167	B	2
100	VESTIBULE	73	-	-
101	LOBBY	1,157	A-3	77
102	SHOP	450	M	15
104	LOUNGE	160	A-3	11
105	SALES	412	M	14
106	SUPPORT/OPS	277	M	9
107	GM OFFICE	67	M	2
108	AGM/MM OFFICE	90	M	3
500	CORRIDOR	1,860	-	-
501	LOUNGE	743	A-3	50
502	MEN'S LOCKER ROOM	593	A-3	12
502A	MEN'S STEAM ROOM	121	A-3	3
502B	MEN'S TOILET ROOM	789	A-3	-
503	SPA LOUNGE	210	B	3
503A	TREATMENT	117	A-3	2
503B	TREATMENT	120	A-3	2
504	WOMEN'S LOCKER ROOM	580	A-3	12
504A	WOMEN'S STEAM ROOM	124	A-3	3
504B	WOMEN'S TOILET ROOM	965	A-3	-
505	GYM OFFICE	92	B	1
506	CYCLING	965	A-3	47
507	BARRE	1,207	A-3	31
508	PILATES	485	A-3	12
509	YOGA	1,345	A-3	41
510	KID'S CLUB	688	A-3	23
600	CORRIDOR	1,023	-	-
601	STRENGTH	4,876	A-3	98
602	CARDIO	3,566	A-3	89
603	GROUP FITNESS	1,584	A-3	32
604	STORAGE	270	S-2	1
605	EQUIFIT	128	B	2
606	PT	86	B	1
607	STRETCH	550	A-3	11
701	MECHANICAL ROOM	1,406	F-2	5
702	MECHANICAL ROOM	1,072	F-2	4

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Project  
**EQUINOX  
92ND STREET**

Drawn by TC

Checked by JS

Scale 1/16"=1'-0"

Project no. 13666

Date 07.02.15

Sheet title

**NOTES & AREA  
CALCULATIONS**

Sheet no.

**BSA-2**

**GENERAL NOTES:**

1. ALL INTERIOR LAYOUTS AND EXITS SHALL BE AS APPROVED BY THE DEPARTMENT OF BUILDINGS.
2. MINIMUM 3'-0" WIDE EXIT PATHWAYS SHALL BE APPROVED LEADING TO THE REQUIRED EXITS. PATHWAYS SHALL ALWAYS BE MAINTAINED UNOBSTRUCTED, INCLUDING FROM ANY GYMNASIUM EQUIPMENT.
3. AN APPROVED INTERIOR FIRE ALARM SYSTEM SHALL BE INSTALLED IN THE ENTIRE PCE SPACE. THE SYSTEM WILL INCLUDE THE FOLLOWING ITEMS:
  - A. AREA SMOKE DETECTORS
  - B. MANUAL PULL STATIONS AT EACH REQUIRED EXIT
  - C. LOCAL AUDIBLE AND VISUAL ALARMS
  - D. CONNECTION OF THE INTERIOR FIRE ALARM TO A FDNY APPROVED CENTRAL STATION
4. LOCAL LAW 58-87 SHALL BE COMPLIED WITH AND AS APPROVED BY THE DEPARTMENT OF BUILDINGS.
5. PROPOSED SIGNAGE WILL COMPLY WITH APPLICABLE ZONING REGULATIONS.
6. FACILITY TO BE EQUIPPED WITH SPRINKLER SYSTEM - FILED UNDER A SEPARATE APPLICATION.

**NOISE NOTES:**

1. THE BUILDING IS SUBJECT TO THE CONDITIONS CONTAINED IN THE CEQR NO. 13DCP 121M REVISED NEGATIVE DECLARATION DATED AUGUST 21, 2013 - IN ORDER TO ENSURE AN ACCEPTABLE INTERIOR NOISE ENVIRONMENT, FUTURE SCHOOL/RESIDENTIAL/COMMERCIAL USES MUST PROVIDE A CLOSED WINDOW CONDITION WITH UP TO 41 DBA OF WINDOW/WALL ATTENUATION IN ORDER TO MAINTAIN AN INTERIOR NOISE LEVEL OF 45 DBA\*\*\*. IN ORDER TO MAINTAIN A CLOSED WINDOW CONDITION, AN ALTERNATE MEANS OF VENTILATION THAT BRINGS OUTSIDE AIR INTO THE BUILDING, WITHOUT DEGRADING THE ACOUSTICAL PERFORMANCE OF THE BUILDING MUST ALSO BE PROVIDED. ALTERNATE MEANS OF VENTILATION INCLUDES, BUT IS NOT LIMITED TO, CENTRAL AIR CONDITIONING THE SPECIFIC ATTENUATION REQUIREMENTS TO BE IMPLEMENTED THROUGH THE PROJECT BUILDING FACADES ARE PROVIDED IN THE 203-205 EAST 92ND STREET TECHNICAL MEMORANDUM, TABLE 6 (CEQR NO. 13DCP121M), AUGUST 2013.

\*\*\*PER TABLE 6 (CEQR NO. 13DCP121M), AUGUST 2013, THE SUBJECT PCE MUST PROVIDE A CLOSED WINDOW CONDITION, ON THE WEST FACADE ONLY, WITH 32 DBA ON THE 5TH FLOOR AND CLOSED WINDOW CONDITION WITH 30 DBA ON THE 6TH FLOOR IN ORDER TO MAINTAIN AN INTERIOR NOISE LEVEL OF 50 DBA.

ACCEPTANCE OF BUILDING DESIGN COMPLIANCE WITH THE ABOVE CONDITIONS IS EVIDENCED BY NOTICE TO PROCEED ISSUED BY THE OFFICE OF ENVIRONMENTAL REMEDIATION DATED JUNE 19, 2014 FOR NEW BUILDING APPLICATION NO. 120921002.

2. NOISE ABATEMENT SHALL BE PROVIDED WITHIN THE PCE SPACE TO ENSURE THAT THE SOUND LEVEL IN OTHER PORTIONS OF THE BUILDING CAUSED BY PCE ACTIVITY DOES NOT EXCEED THE MAXIMUM NOISE LEVEL OF 45 DBA. THIS SHALL INCLUDE SOUND EMANATING FROM ANY SOUND SYSTEM, IF INSTALLED.

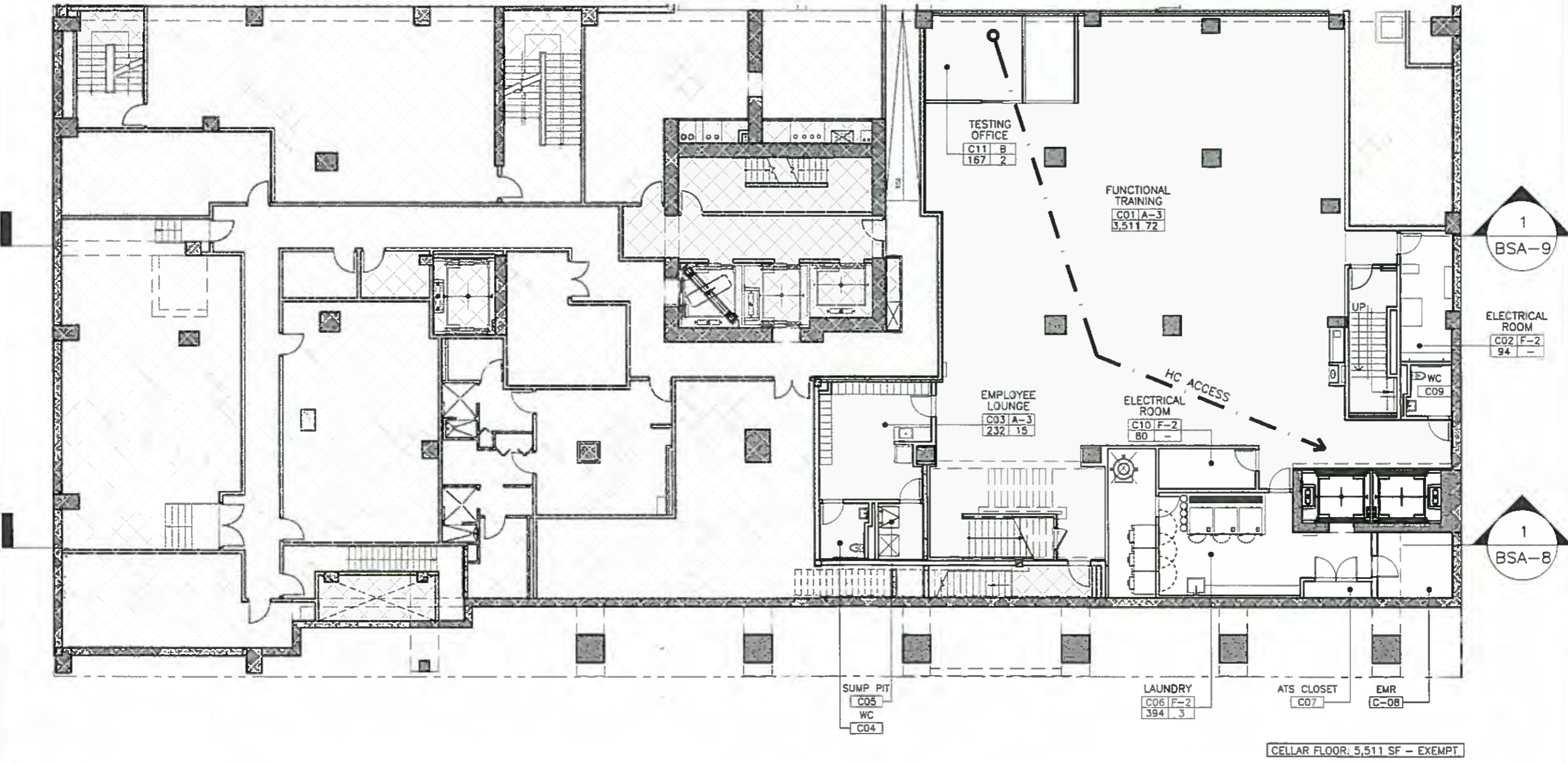
3 FLOORS BENEATH THE PROPOSED STRENGTH AREA, GROUP FITNESS AND CYCLING STUDIO WILL BE 'FLOATING FLOORS' UTILIZING JACK SLAB CONSTRUCTION TO REDUCE VIBRATION TO DEP ACCEPTABLE STANDARDS IN OTHER PORTIONS OF THE BUILDING.

**NOTE:**

1. INTERIOR LAYOUT AS SHOWN SHALL BE SUBSTANTIALLY COMPLIED WITH, AND ALL EXITS SHALL BE AS APPROVED BY DOB.
2. MAXIMUM OCCUPANT LOAD PER FLOOR/SPACE SHALL BE AS APPROVED BY DOB.

**LEGEND:**

- [Hatched Box] AREA OF JACK-SLAB CONSTRUCTION
- [White Box] NOT IN SCOPE



1 CELLAR FLOOR PLAN

SCALE: 1/16" = 1'-0"

0 5' 25'

BSA# : CAL NO. 270-14-BZ

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**APPROVED PLANS**  
**BOARD OF STANDARDS AND APPEALS**

The approval of these plans is subject to the condition that the applicant shall be responsible for the payment of the applicable fees and for the payment of the applicable taxes and charges. The approval of these plans is subject to the condition that the applicant shall be responsible for the payment of the applicable fees and for the payment of the applicable taxes and charges.



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Project  
**EQUINOX**  
**92ND STREET**

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Checked by JS  
Scale 1/16" = 1'-0"  
Project no. 13666  
Date 07.02.15  
Sheet title  
**PROPOSED**  
**CELLAR PLAN**  
Sheet no.

**BSA-3**

**GENERAL NOTES:**

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  - B. MANUAL PULL STATIONS AT EACH REQUIRED EXIT
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5. PROPOSED SIGNAGE WILL COMPLY WITH APPLICABLE ZONING REGULATIONS.
6. FACILITY TO BE EQUIPPED WITH SPRINKLER SYSTEM - FILED UNDER A SEPARATE APPLICATION.

**NOISE NOTES:**

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\*\*\*PER TABLE 6 (CEQR NO. 13DCP121M), AUGUST 2013, THE SUBJECT PCE MUST PROVIDE A CLOSED WINDOW CONDITION, ON THE WEST FACADE ONLY, WITH 32 DBA ON THE 5TH FLOOR AND CLOSED WINDOW CONDITION WITH 30 DBA ON THE 6TH FLOOR IN ORDER TO MAINTAIN AN INTERIOR NOISE LEVEL OF 50 DBA.

ACCEPTANCE OF BUILDING DESIGN COMPLIANCE WITH THE ABOVE CONDITIONS IS EVIDENCED BY NOTICE TO PROCEED ISSUED BY THE OFFICE OF ENVIRONMENTAL REMEDIATION DATED JUNE 19, 2014 FOR NEW BUILDING APPLICATION NO. 120921002.



2. NOISE ABATEMENT SHALL BE PROVIDED WITHIN THE PCE SPACE TO ENSURE THAT THE SOUND LEVEL IN OTHER PORTIONS OF THE BUILDING CAUSED BY PCE ACTIVITY DOES NOT EXCEED THE MAXIMUM NOISE LEVEL OF 45 DBA. THIS SHALL INCLUDE SOUND EMANATING FROM ANY SOUND SYSTEM, IF INSTALLED.

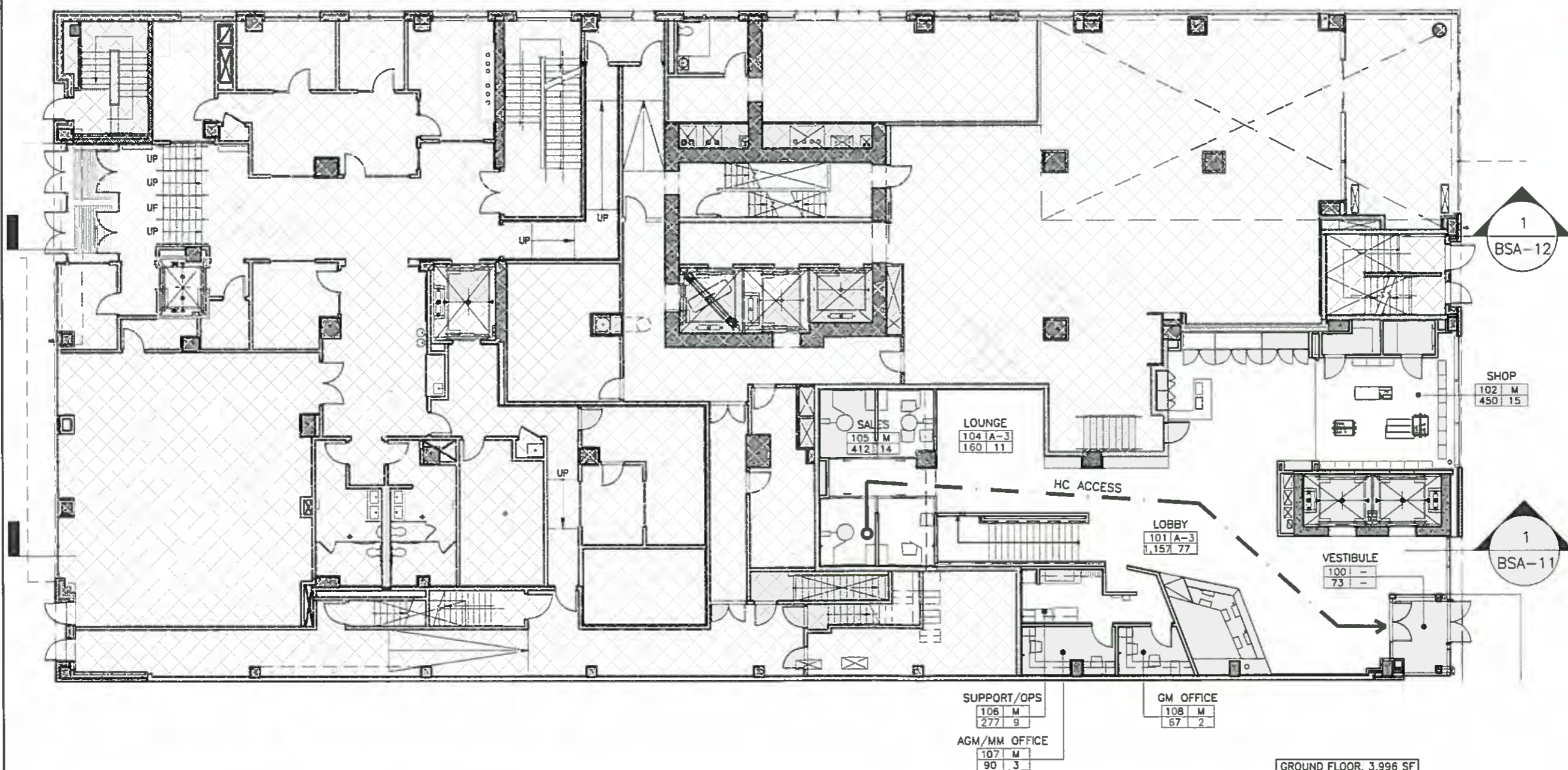
3 FLOORS BENEATH THE PROPOSED STRENGTH AREA, GROUP FITNESS AND CYCLING STUDIO WILL BE 'FLOATING FLOORS' UTILIZING JACK SLAB CONSTRUCTION TO REDUCE VIBRATION TO DEP ACCEPTABLE STANDARDS IN OTHER PORTIONS OF THE BUILDING

**NOTE:**

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2. MAXIMUM OCCUPANT LOAD PER FLOOR/SPACE SHALL BE AS-APPROVED BY DOB.

**LEGEND:**

	AREA OF JACK-SLAB CONSTRUCTION
	NOT IN SCOPE



1 FIRST FLOOR PLAN

SCALE: 1/16" = 1'-0"

0 5' 25'

BSA# : CAL. NO. 270-14-BZ

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**APPROVED PLANS**  
**BOARD OF STANDARDS AND APPEALS**  
 The approval of these plans is limited solely to the relief granted by the Board of Standards and Appeals. All plans are subject to Department of Buildings review for compliance with all other applicable laws, rules, and regulations. Refer to the Certified Resolution language for the scope and content description of the BSA approval.



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**92ND STREET**

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Project no. 13666

Date 07.02.15

Sheet title  
**PROPOSED 1ST FLOOR PLAN**

Sheet no.  
**BSA-4**

**APPROVED PLANS  
BOARD OF STANDARDS AND APPEALS**

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NOT IN SCOPE  
FOR REFERENCE ONLY

2015 JUL - 17 10:11 AM  
012113

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1  
BSA-12

1  
BSA-11



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Date 07.02.15

Sheet title  
**PROPOSED 2ND  
FLOOR PLAN**

Sheet no.  
**BSA-5**

1 SECOND FLOOR PLAN - SCHOOL

SCALE: 1/16" = 1'-0"



SIXTH FLOOR: 14,522 SF  
0 5' 25'  
BSA# : CAL NO. 270-14-BZ



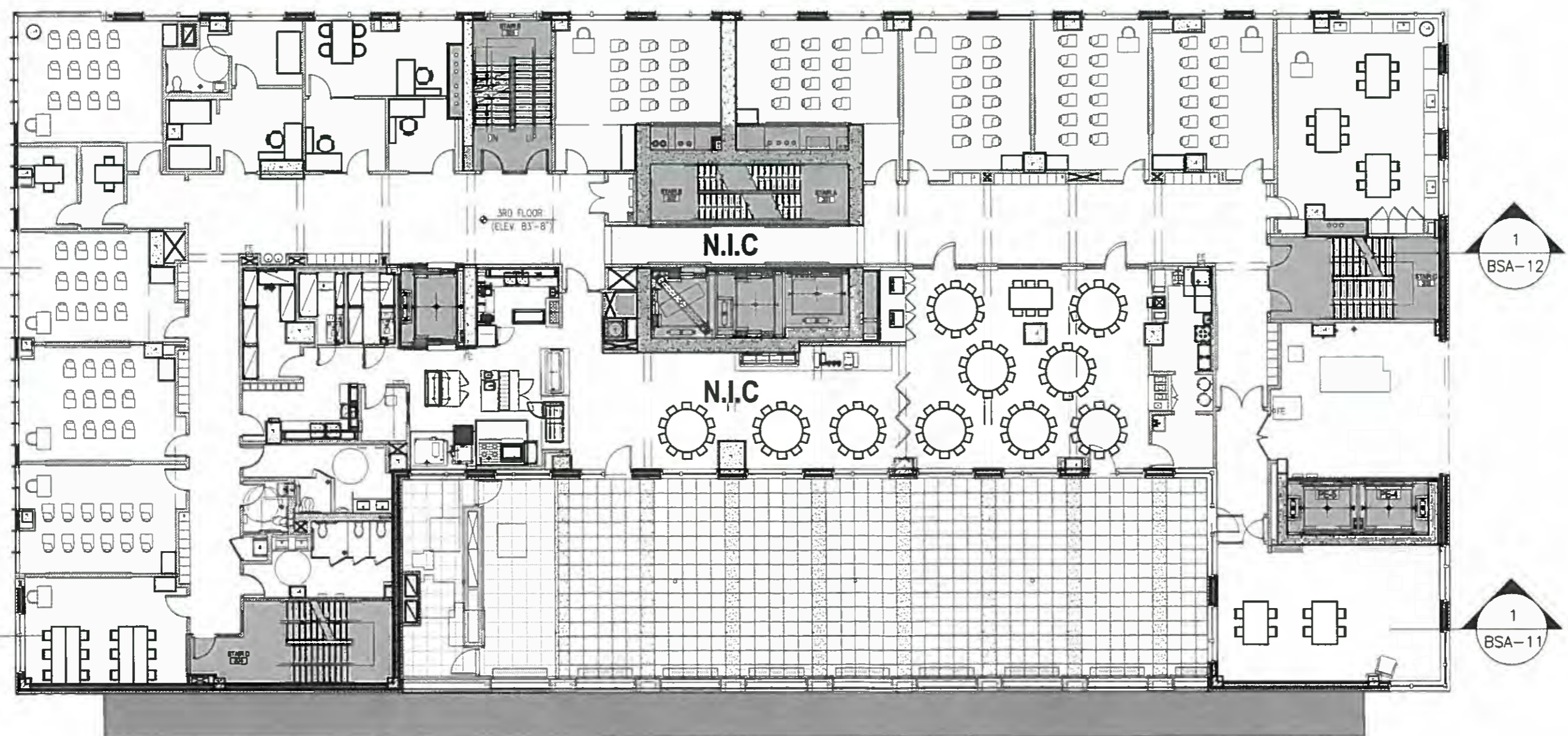
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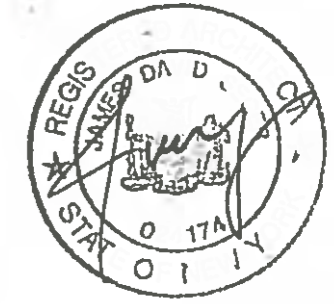
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2015 JUN -2  
C.L. 111



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Project  
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Sheet title  
**PROPOSED 3RD  
FLOOR PLAN**

Sheet no.

**BSA-6**

1 THIRD FLOOR PLAN - SCHOOL

SCALE: 1/16" = 1'-0"



**APPROVED PLANS  
BOARD OF STANDARDS AND APPEALS**

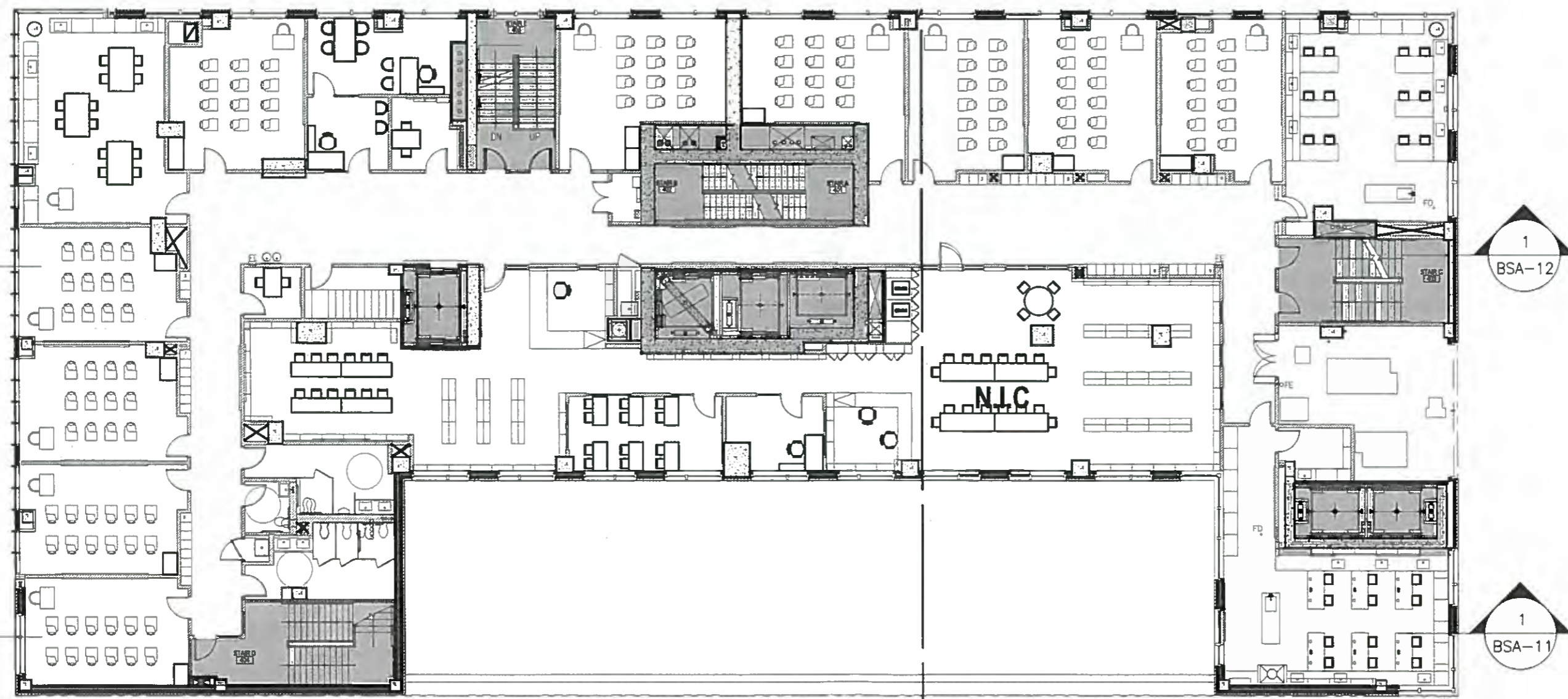
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NOT IN SCOPE  
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2015 JUL 27 11:20  
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1  
BSA-12

1  
BSA-11



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Project  
**EQUINOX  
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Scale 1/16" = 1'-0"

Project no. 13666

Date 07.02.15

Sheet title  
**PROPOSED 4TH  
FLOOR PLAN**

Sheet no.

**BSA-7**

1 FOURTH FLOOR PLAN - SCHOOL

SCALE: 1/16" = 1'-0"

0 5' 25'  
BSA# : CAL. NO. 270-14-BZ

**GENERAL NOTES:**

1. ALL INTERIOR LAYOUTS AND EXITS SHALL BE AS APPROVED BY THE DEPARTMENT OF BUILDINGS.
2. MINIMUM 3'-0" WIDE EXIT PATHWAYS SHALL BE APPROVED LEADING TO THE REQUIRED EXITS. PATHWAYS SHALL ALWAYS BE MAINTAINED UNOBSTRUCTED, INCLUDING FROM ANY GYMNASIUM EQUIPMENT.
3. AN APPROVED INTERIOR FIRE ALARM SYSTEM SHALL BE INSTALLED IN THE ENTIRE PCE SPACE. THE SYSTEM WILL INCLUDE THE FOLLOWING ITEMS:
  - A. AREA SMOKE DETECTORS
  - B. MANUAL PULL STATIONS AT EACH REQUIRED EXIT
  - C. LOCAL AUDIBLE AND VISUAL ALARMS
  - D. CONNECTION OF THE INTERIOR FIRE ALARM TO A FDNY APPROVED CENTRAL STATION
4. LOCAL LAW 58-87 SHALL BE COMPLIED WITH AND AS APPROVED BY THE DEPARTMENT OF BUILDINGS.
5. PROPOSED SIGNAGE WILL COMPLY WITH APPLICABLE ZONING REGULATIONS.
6. FACILITY TO BE EQUIPPED WITH SPRINKLER SYSTEM - FILED UNDER A SEPARATE APPLICATION.

**NOISE NOTES:**

1. THE BUILDING IS SUBJECT TO THE CONDITIONS CONTAINED IN THE CEQR NO. 13DCP 121M REVISED NEGATIVE DECLARATION DATED AUGUST 21, 2013 - IN ORDER TO ENSURE AN ACCEPTABLE INTERIOR NOISE ENVIRONMENT, FUTURE SCHOOL/RESIDENTIAL/COMMERCIAL USES MUST PROVIDE A CLOSED WINDOW CONDITION WITH UP TO 41 DBA OF WINDOW/WALL ATTENUATION IN ORDER TO MAINTAIN AN INTERIOR NOISE LEVEL OF 45 DBA\*\*\* IN ORDER TO MAINTAIN A CLOSED WINDOW CONDITION, AN ALTERNATE MEANS OF VENTILATION THAT BRINGS OUTSIDE AIR INTO THE BUILDING, WITHOUT DEGRADING THE ACOUSTICAL PERFORMANCE OF THE BUILDING MUST ALSO BE PROVIDED. ALTERNATE MEANS OF VENTILATION INCLUDES, BUT IS NOT LIMITED TO, CENTRAL AIR CONDITIONING. THE SPECIFIC ATTENUATION REQUIREMENTS TO BE IMPLEMENTED THROUGH THE PROJECT BUILDING FACADES ARE PROVIDED IN THE 203-205 EAST 92ND STREET TECHNICAL MEMORANDUM, TABLE 6 (CEQR NO. 13DCP121M), AUGUST 2013.

\*\*\*PER TABLE 6 (CEQR NO. 13DCP121M), AUGUST 2013, THE SUBJECT PCE MUST PROVIDE A CLOSED WINDOW CONDITION, ON THE WEST FACADE ONLY, WITH 32 DBA ON THE 5TH FLOOR AND CLOSED WINDOW CONDITION WITH 30 DBA ON THE 6TH FLOOR IN ORDER TO MAINTAIN AN INTERIOR NOISE LEVEL OF 50 DBA.

ACCEPTANCE OF BUILDING DESIGN COMPLIANCE WITH THE ABOVE CONDITIONS IS EVIDENCED BY NOTICE TO PROCEED ISSUED BY THE OFFICE OF ENVIRONMENTAL REMEDIATION DATED JUNE 19, 2014 FOR NEW BUILDING APPLICATION NO 120921002

2. NOISE ABATEMENT SHALL BE PROVIDED WITHIN THE PCE SPACE TO ENSURE THAT THE SOUND LEVEL IN OTHER PORTIONS OF THE BUILDING CAUSED BY PCE ACTIVITY DOES NOT EXCEED THE MAXIMUM NOISE LEVEL OF 45 DBA. THIS SHALL INCLUDE SOUND EMANATING FROM ANY SOUND SYSTEM, IF INSTALLED.

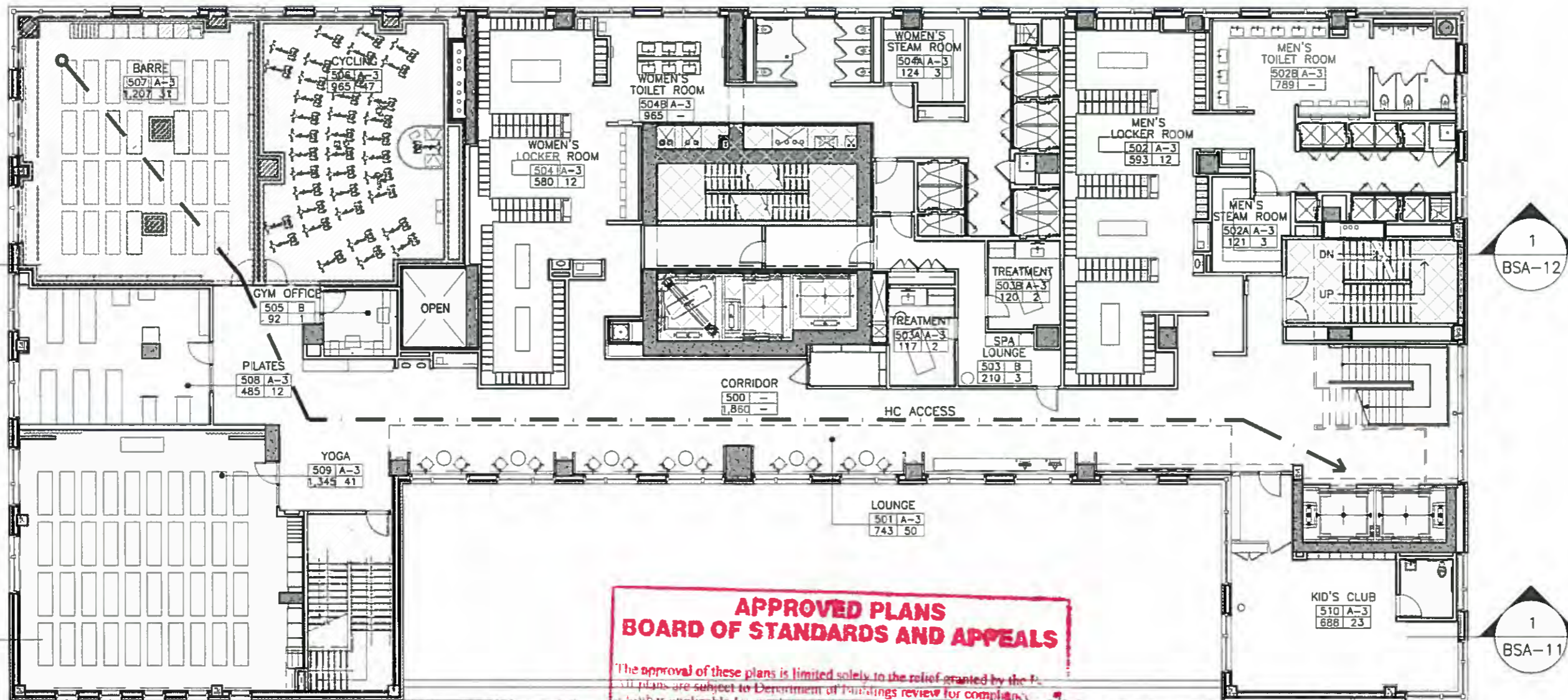
3. FLOORS BENEATH THE PROPOSED STRENGTH AREA, GROUP FITNESS AND CYCLING STUDIO WILL BE 'FLOATING FLOORS' UTILIZING JACK SLAB CONSTRUCTION TO REDUCE VIBRATION TO DEP ACCEPTABLE STANDARDS IN OTHER PORTIONS OF THE BUILDING.

**NOTE:**

1. INTERIOR LAYOUT AS SHOWN SHALL BE SUBSTANTIALLY COMPLIED WITH, AND ALL EXITS SHALL BE AS APPROVED BY DOB.
2. MAXIMUM OCCUPANT LOAD PER FLOOR/SPACE SHALL BE AS APPROVED BY DOB.

**LEGEND:**

AREA OF JACK-SLAB CONSTRUCTION



**APPROVED PLANS  
BOARD OF STANDARDS AND APPEALS**

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Refer to the Certified Resolution language for the scope and extent of the BSA approval.

FIFTH FLOOR: 14,014 SF

1 FIFTH FLOOR PLAN

SCALE: 1/16" = 1'-0"



0 5' 25'  
BSA# : CAL NO. 270-14-BZ

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Scale 1/16" = 1'-0"

Project no. 13666

Date 07.02.15

Sheet title  
**PROPOSED 5TH  
FLOOR PLAN**

Sheet no.

**BSA-8**

**GENERAL NOTES:**

1. ALL INTERIOR LAYOUTS AND EXITS SHALL BE AS APPROVED BY THE DEPARTMENT OF BUILDINGS.
2. MINIMUM 3'-0" WIDE EXIT PATHWAYS SHALL BE APPROVED LEADING TO THE REQUIRED EXITS. PATHWAYS SHALL ALWAYS BE MAINTAINED UNOBSTRUCTED, INCLUDING FROM ANY GYMNASIUM EQUIPMENT.
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  - C. LOCAL AUDIBLE AND VISUAL ALARMS
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4. LOCAL LAW 58-87 SHALL BE COMPLIED WITH AND AS APPROVED BY THE DEPARTMENT OF BUILDINGS.
5. PROPOSED SIGNAGE WILL COMPLY WITH APPLICABLE ZONING REGULATIONS.
6. FACILITY TO BE EQUIPPED WITH SPRINKLER SYSTEM - FILED UNDER A SEPARATE APPLICATION.

**NOISE NOTES:**

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2. NOISE ABATEMENT SHALL BE PROVIDED WITHIN THE PCE SPACE TO ENSURE THAT THE SOUND LEVEL IN OTHER PORTIONS OF THE BUILDING CAUSED BY PCE ACTIVITY DOES NOT EXCEED THE MAXIMUM NOISE LEVEL OF 45 DBA. THIS SHALL INCLUDE SOUND EMANATING FROM ANY SOUND SYSTEM, IF INSTALLED.

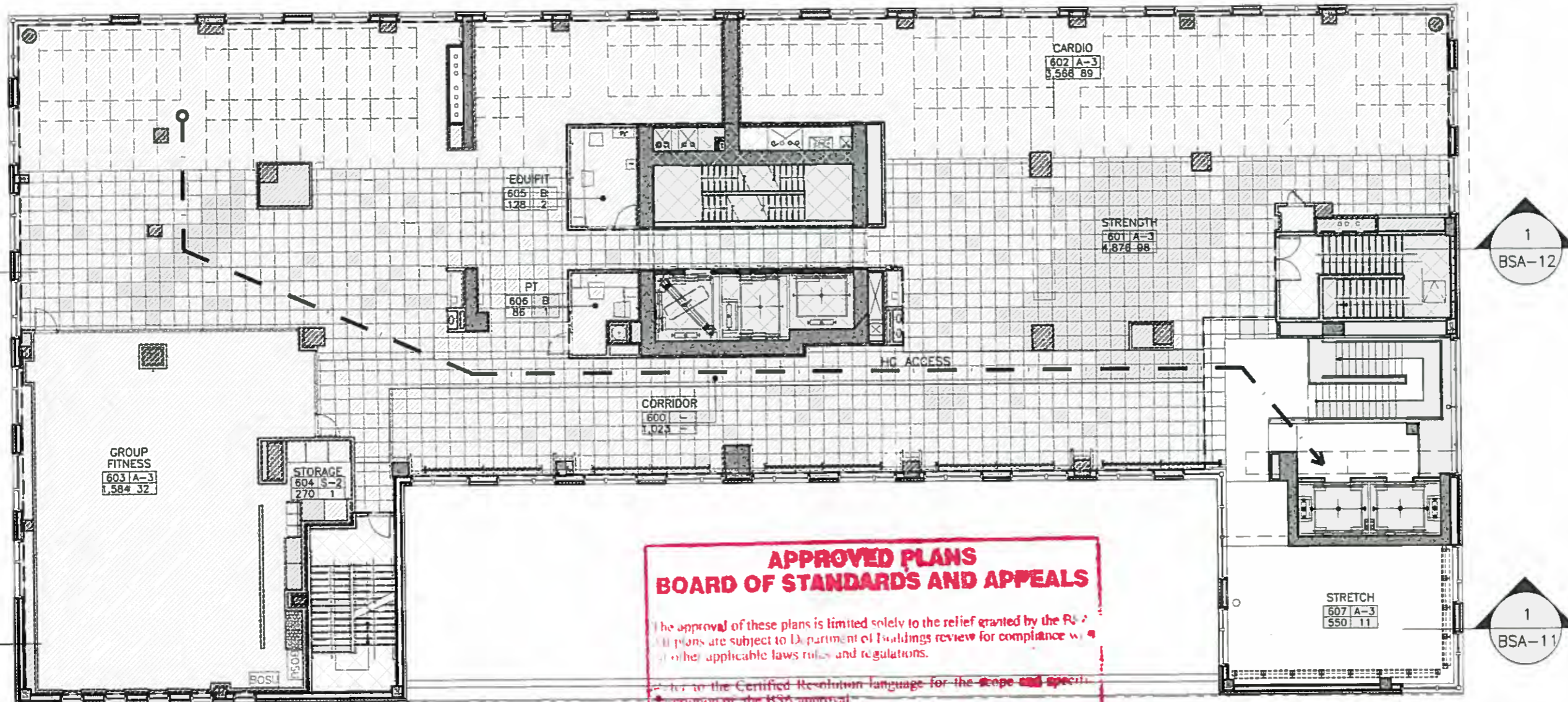
3. FLOORS BENEATH THE PROPOSED STRENGTH AREA, GROUP FITNESS AND CYCLING STUDIO WILL BE 'FLOATING FLOORS' UTILIZING JACK SLAB CONSTRUCTION TO REDUCE VIBRATION TO DEP ACCEPTABLE STANDARDS IN OTHER PORTIONS OF THE BUILDING.

**NOTE:**

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2. MAXIMUM OCCUPANT LOAD PER FLOOR/SPACE SHALL BE AS APPROVED BY DOB.

**LEGEND:**

-  AREA OF JACK-SLAB CONSTRUCTION
-  NOT IN SCOPE



**APPROVED PLANS  
BOARD OF STANDARDS AND APPEALS**

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SIXTH FLOOR: 14,522 SF



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Project  
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92ND STREET**

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Project no. 13666

Date 07.02.15

Sheet title

**PROPOSED 6TH  
FLOOR PLAN**

Sheet no.

**BSA-9**

1 SIXTH FLOOR PLAN

SCALE: 1/16" = 1'-0"

**GENERAL NOTES:**

1. ALL INTERIOR LAYOUTS AND EXITS SHALL BE AS APPROVED BY THE DEPARTMENT OF BUILDINGS.
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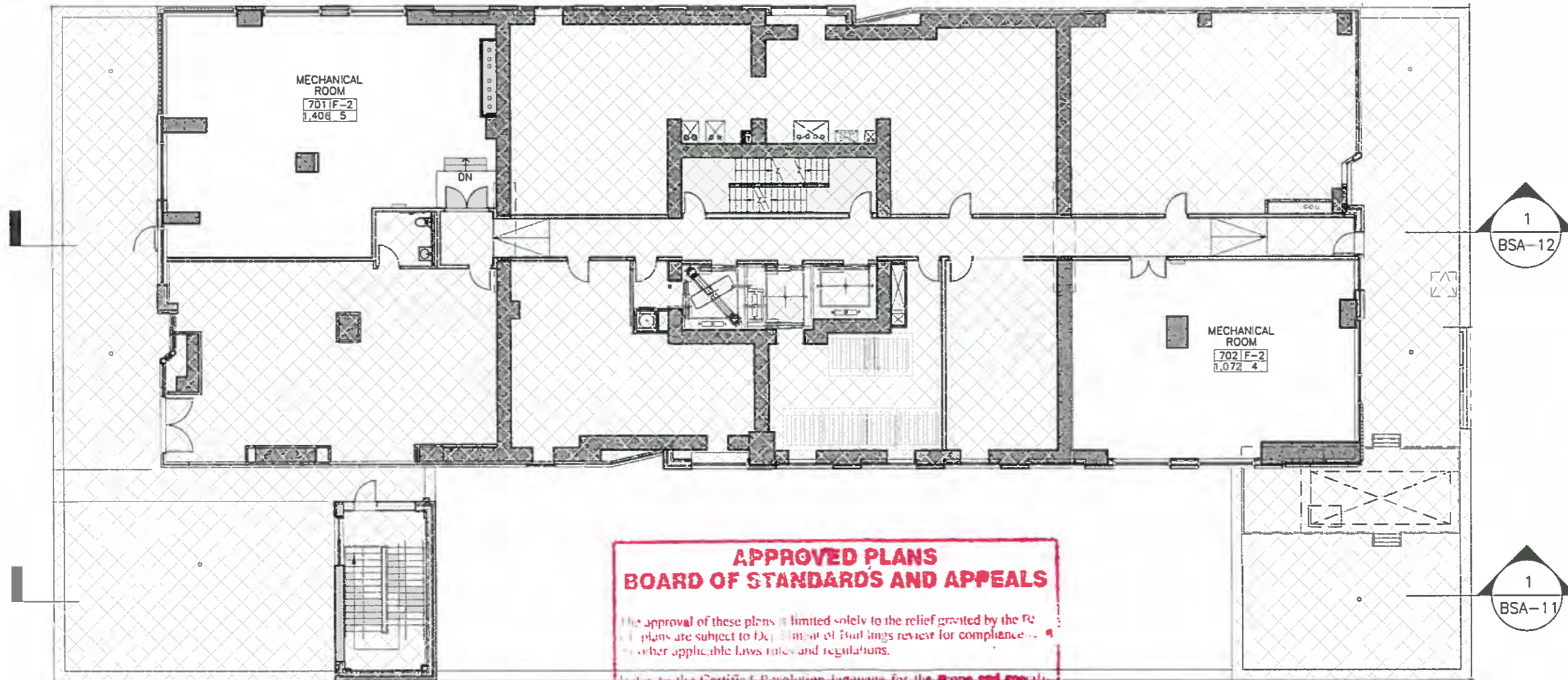
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**LEGEND:**

-  AREA OF JACK-SLAB CONSTRUCTION
-  NOT IN SCOPE



**APPROVED PLANS  
BOARD OF STANDARDS AND APPEALS**

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SEVENTH FLOOR: 2,546 SF - EXEMPT

1 SEVENTH FLOOR PLAN

SCALE: 1/16" = 1'-0"



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Date 07.02.15  
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**PROPOSED 7TH  
FLOOR PLAN**  
Sheet no.

**BSA-10**

**APPROVED PLANS  
BOARD OF STANDARDS AND APPEALS**

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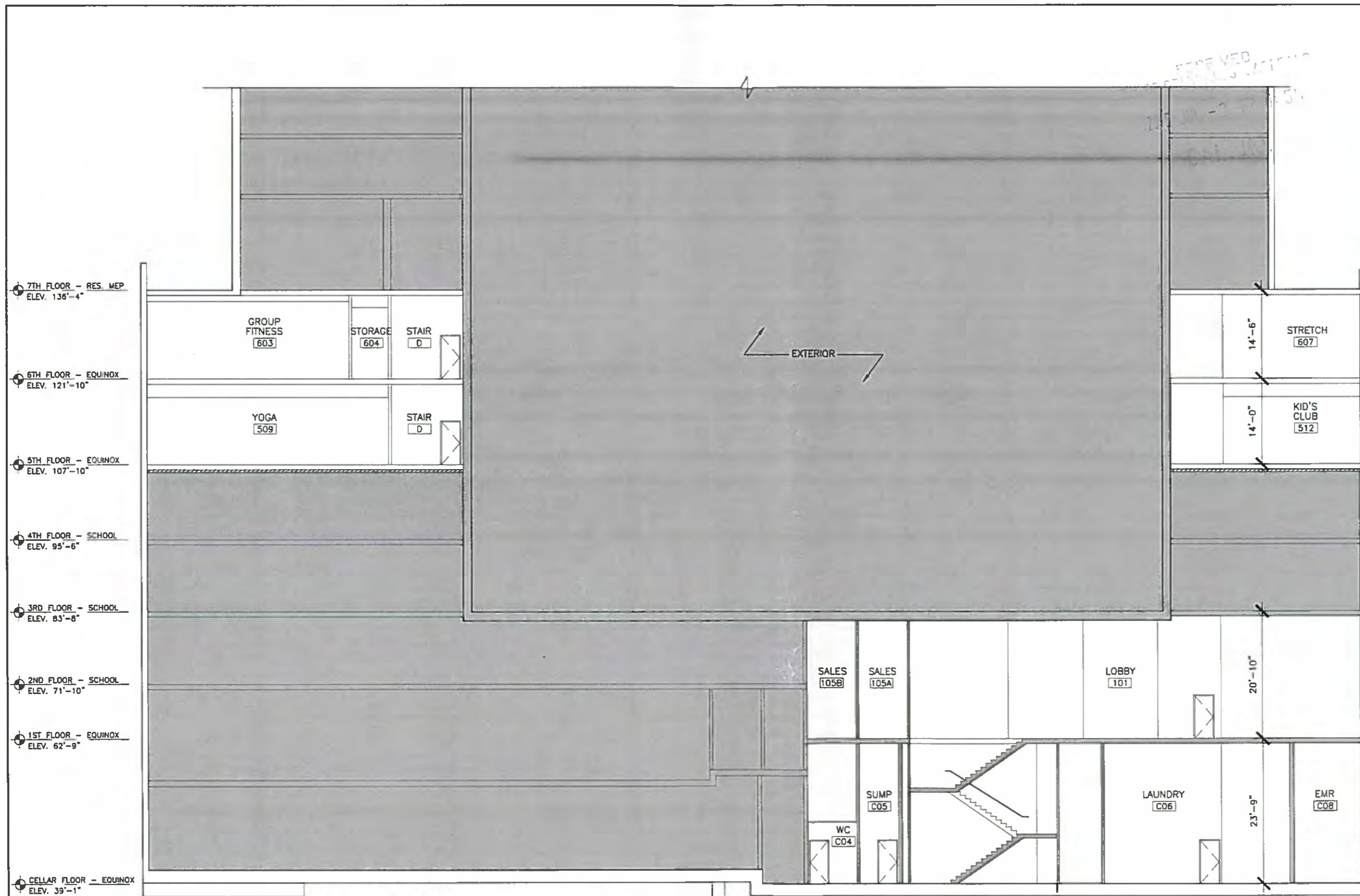


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Project no. 13666  
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Sheet title  
**PROPOSED  
SECTION 1**  
Sheet no.

**BSA-11**



1 BUILDING SECTION

SCALE: 1/16" = 1'-0"



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BOARD OF STANDARDS AND APPEALS**

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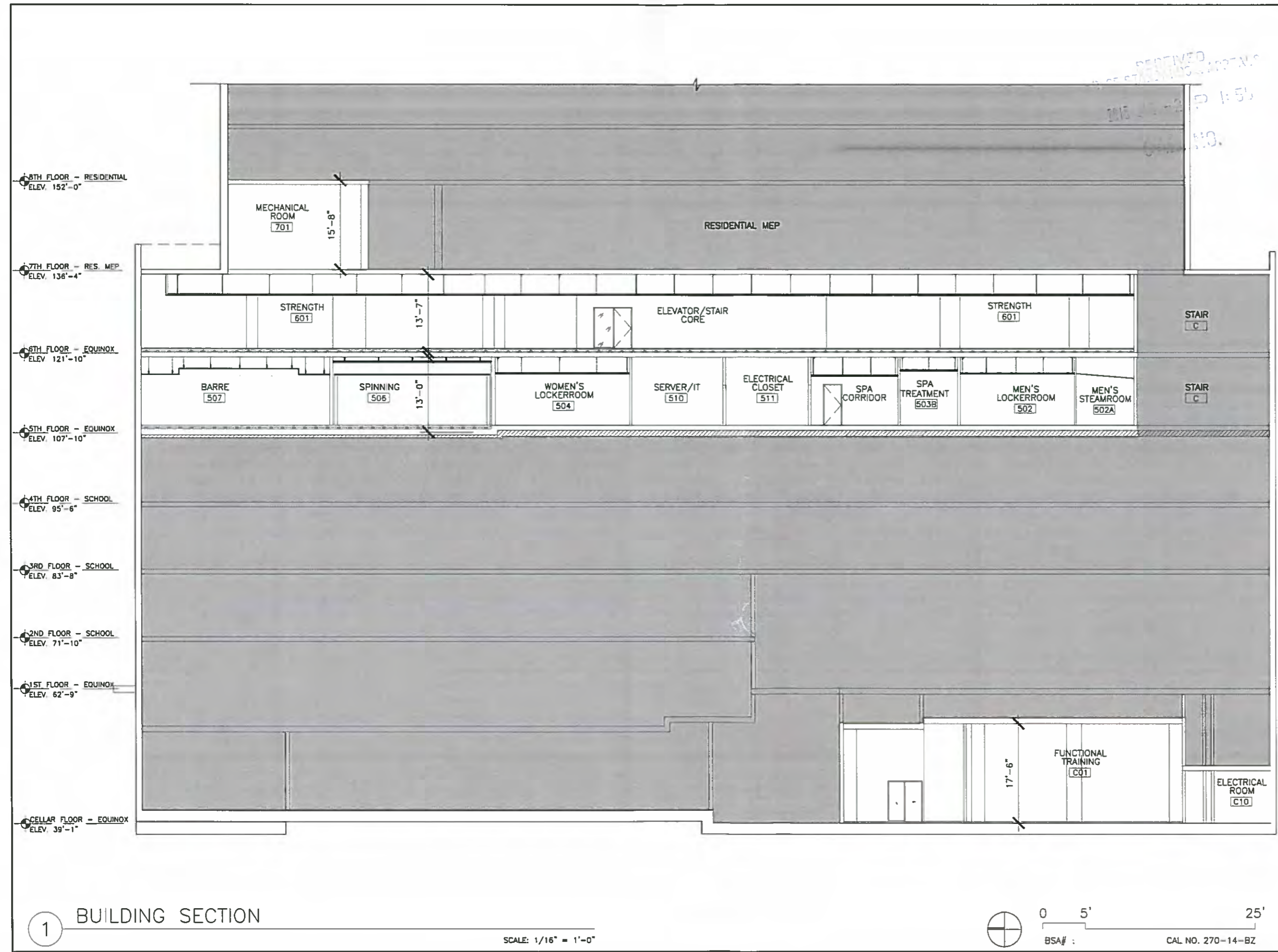


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Scale 1/16" = 1'-0"  
Project no. 13666  
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Sheet title  
**PROPOSED  
SECTION 2**  
Sheet no.

**BSA-12**



1 BUILDING SECTION

SCALE: 1/16" = 1'-0"

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Project no. 13666  
Date 07.02.15  
Sheet title  
**PROPOSED  
ELEV - SOUTH**  
Sheet no.

1 ELEVATION

SCALE: 1/16" = 1'-0"

CAL. NO. 270-14-BZ

**BSA-13**



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Date 07.02.15

Sheet title  
**PROPOSED  
ELEV - NORTH**

Sheet no.

**BSA-14**



1 ELEVATION

SCALE 1/16" = 1'-0"

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1 OF 5 SHEETS  
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1  
BSA-18  
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Project  
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Scale 1/16" = 1'-0"  
Project no. 13666  
Date 07.02.15  
Sheet title  
**PROPOSED  
ELEV - EAST**  
Sheet no.

**APPROVED PLANS  
BOARD OF STANDARDS AND APPEALS**

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1 ELEVATION

SCALE: 1/16" = 1'-0"

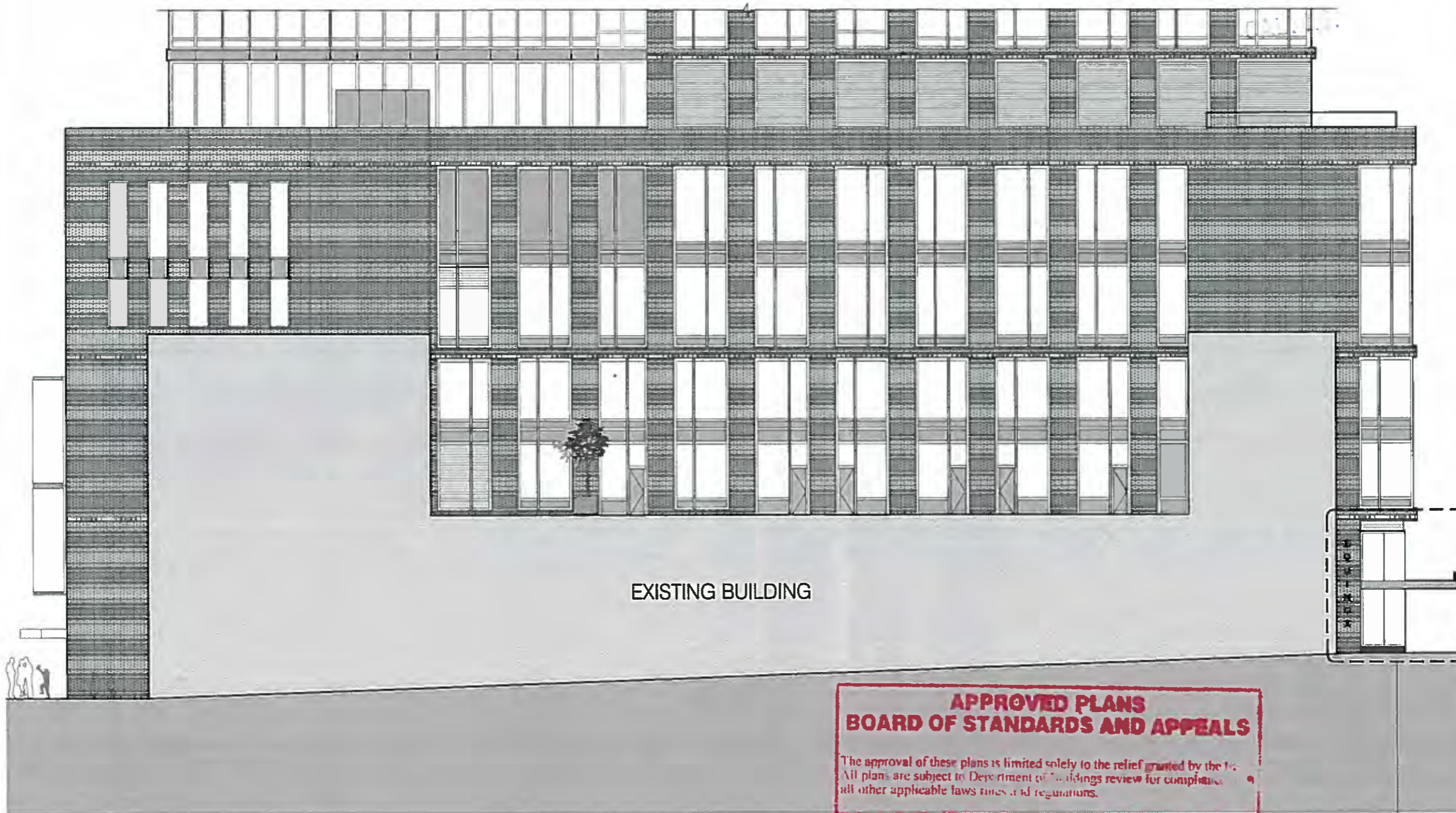
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**BSA-15**

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EXISTING BUILDING

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BOARD OF STANDARDS AND APPEALS**

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2  
BSA-17

1 ELEVATION

SCALE: 1/16" = 1'-0"



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Date 07.02.15

Sheet title  
**PROPOSED  
ELEV - WEST**

Sheet no.

**BSA-16**

CAL. NO. 270-14-BZ

**APPROVED PLANS  
BOARD OF STANDARDS AND APPEALS**

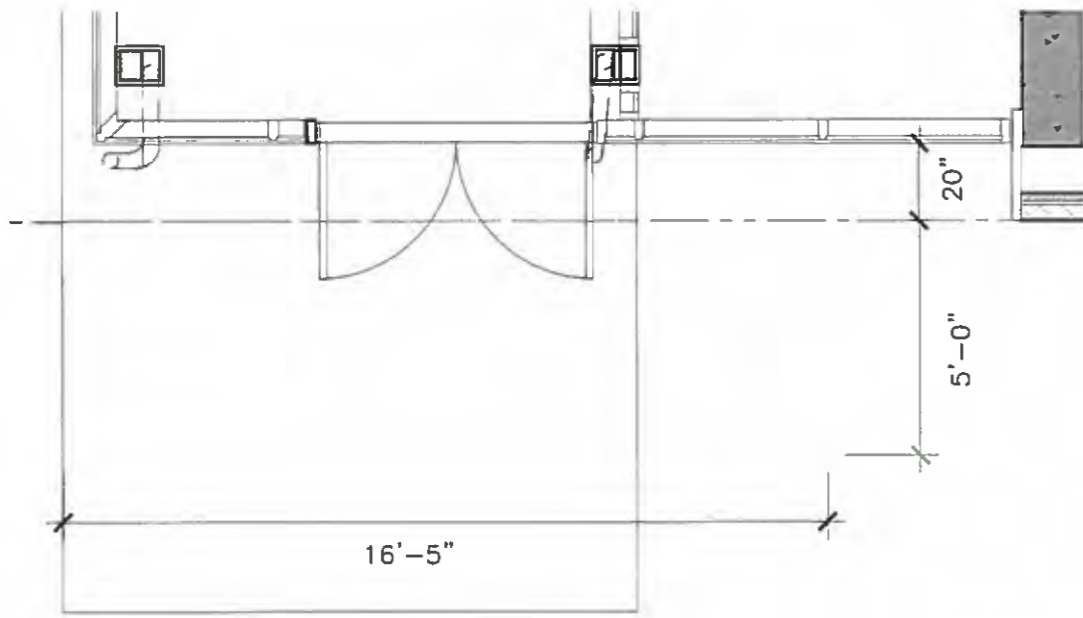
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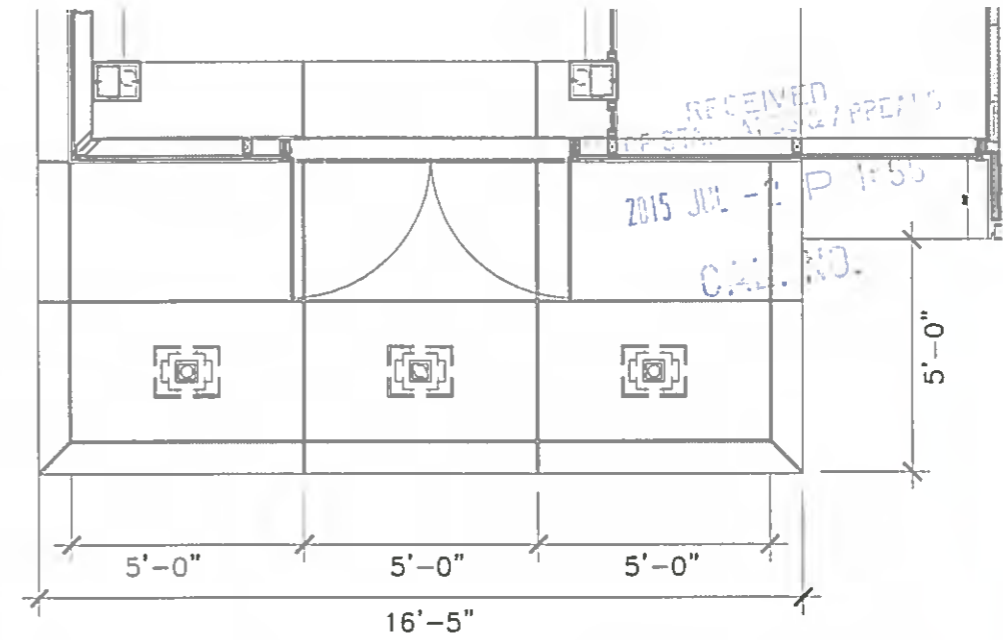
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92ND STREET**  
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Checked by JS  
Scale 1/4"=1'-0"  
Project no. 13666  
Date 07.02.15  
Sheet title  
**PROP. CANOPY  
STREET ENTRY**  
Sheet no.

**BSA-17**



4 PLAN

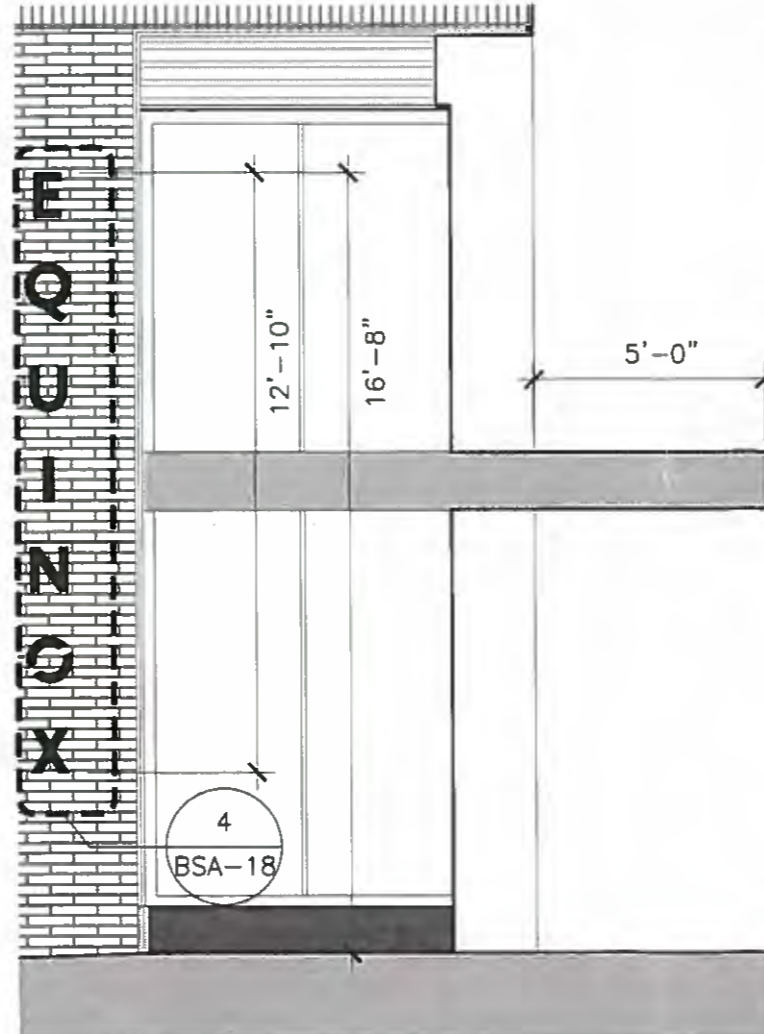
SCALE: 1/4" = 1'-0"



3 REFLECTED CEILING PLAN

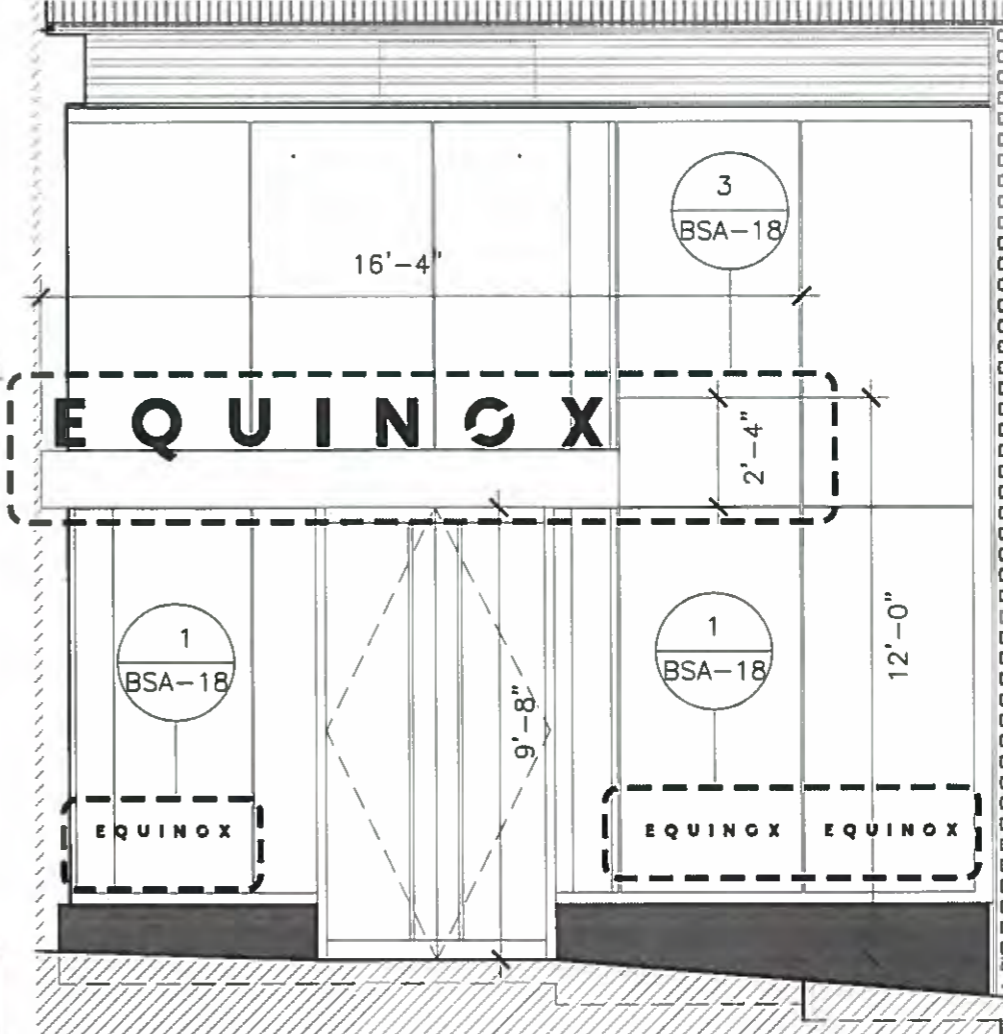
SCALE: 1/4" = 1'-0"

- SIGNAGE WEST ELEVATION TOTAL AREA 10.6 SF:  
(1) BUILDING WALL SIGN (TYPE 4):  
0'-9 7/8" X 12'-10 1/4" = 10.6 SF
- SIGNAGE SOUTH ELEVATION TOTAL AREA 24.43 SF:  
(1) CANOPY SIGN (TYPE 3):  
11'-8 7/8" X 1'-0" = 11.77 SF  
(1) BUILDING WALL SIGN (TYPE 2):  
8'-11 5/8" X 0'-9 3/8" = 7 SF  
(8) WINDOW VINYL SIGNS (TYPE 1):  
0'-3" X 2'-10" = 0.708 SF X 8 = 5.7 SF
- SIGNAGE NORTH ELEVATION TOTAL AREA 5.66 SF:  
(8) WINDOW VINYL SIGNS (TYPE 1):  
0'-3" X 2'-10" = 0.708 SF X 8 = 5.7 SF
- SIGNAGE EAST ELEVATION TOTAL AREA 4.25 SF:  
(6) WINDOW VINYL SIGNS (TYPE 1):  
0'-3" X 2'-10" = 0.708 SF X 6 = 4.2 SF
- SIGNAGE GRAND TOTAL: 44.97 SF



2 WEST ELEVATION

SCALE: 1/4" = 1'-0"



1 SOUTH ELEVATION

SCALE: 1/4" = 1'-0"

CAL. NO. 270-14-BZ

SIGNAGE WEST ELEVATION TOTAL AREA 10.6 SF:  
 (1) BUILDING WALL SIGN (TYPE 4):  
 0'-9 7/8" X 12'-10 1/4" = 10.6 SF

SIGNAGE SOUTH ELEVATION TOTAL AREA 24.43 SF:

- (1) CANOPY SIGN (TYPE 3):  
11'-8 7/8" X 1'-0" = 11.77 SF
- (1) BUILDING WALL SIGN (TYPE 2):  
8'-11 5/8" X 0'-9 3/8" = 7 SF
- (8) WINDOW VINYL SIGNS (TYPE 1):  
0'-3" X 2'-10" = 0.708 SF X 8 = 5.7 SF

SIGNAGE NORTH ELEVATION TOTAL AREA 5.66 SF:

- (8) WINDOW VINYL SIGNS (TYPE 1):  
0'-3" X 2'-10" = 0.708 SF X 8 = 5.7 SF

SIGNAGE EAST ELEVATION TOTAL AREA 4.25 SF:

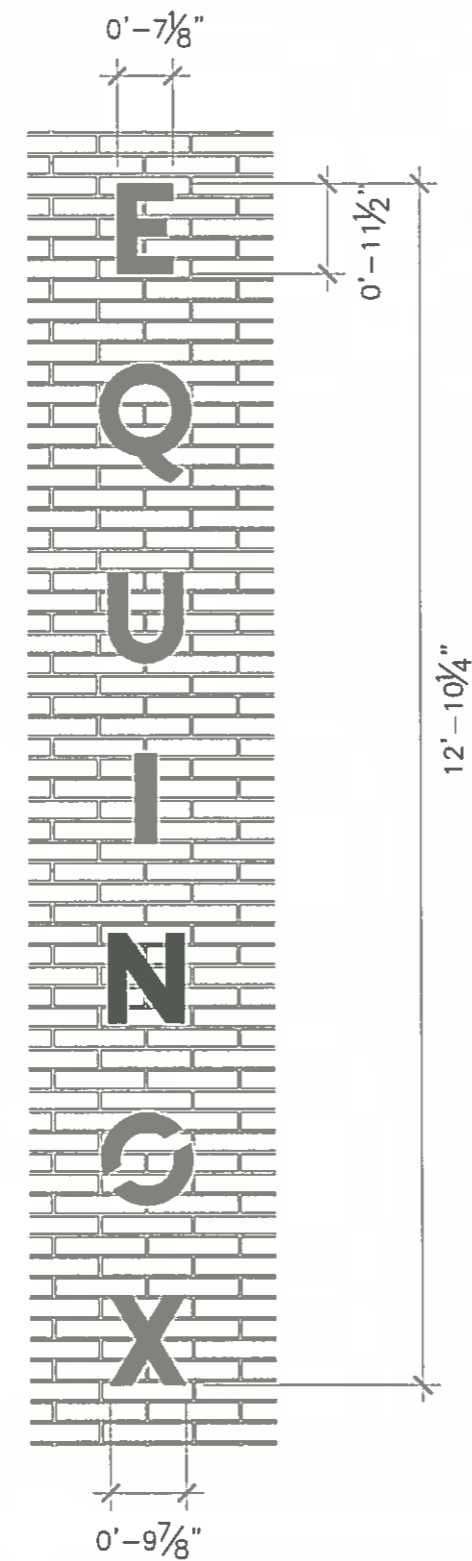
- (6) WINDOW VINYL SIGNS (TYPE 1):  
0'-3" X 2'-10" = 0.708 SF X 6 = 4.2 SF

SIGNAGE GRAND TOTAL: 44.97 SF

**APPROVED PLANS  
BOARD OF STANDARDS AND APPEALS**

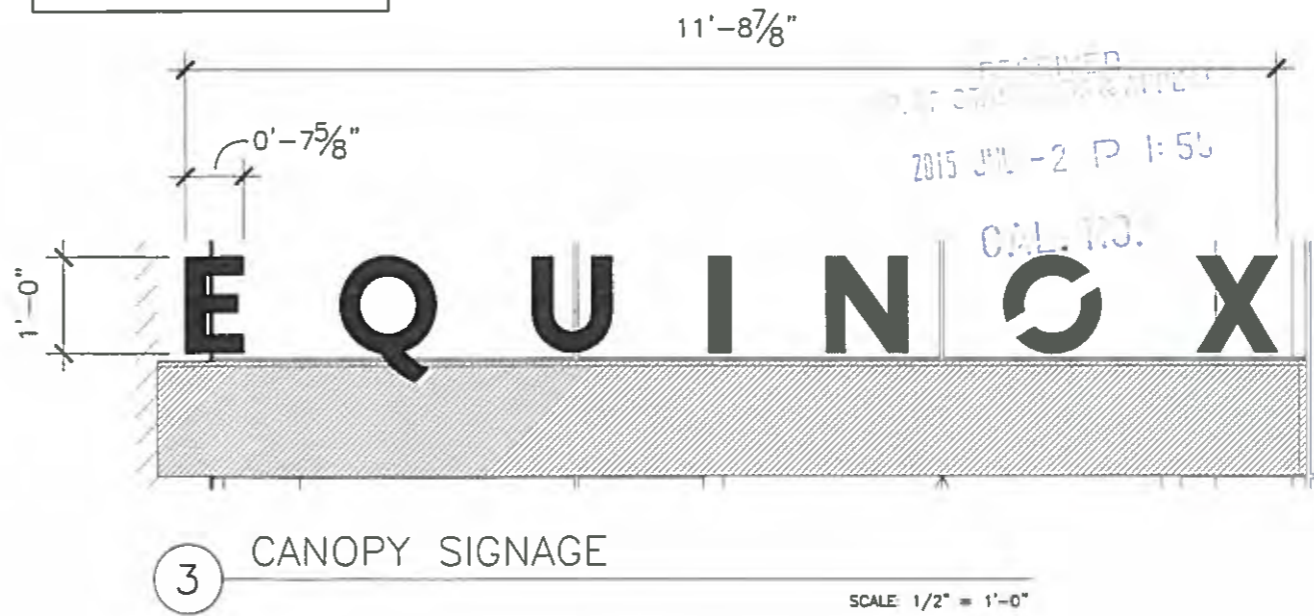
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SIGNAGE AREA: 10.6 SF



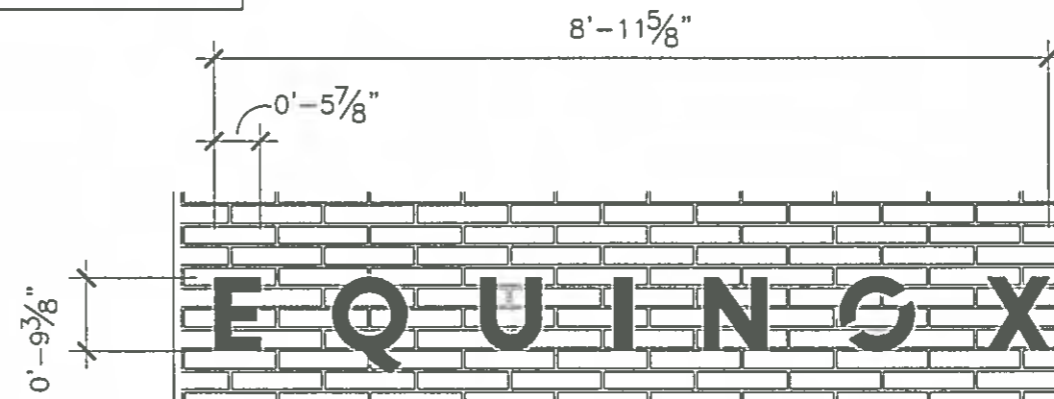
4 BUILDING SIGNAGE  
SCALE: 1/2" = 1'-0"

SIGNAGE AREA: 11.77 SF



3 CANOPY SIGNAGE  
SCALE: 1/2" = 1'-0"

SIGNAGE AREA: 7 SF



2 BUILDING SIGNAGE  
SCALE: 1/2" = 1'-0"

INDIVIDUAL SIGNAGE AREA: 102 SQ. IN  
 TOTAL NUMBER OF SIGNS: 22  
 TOTAL SIGNAGE AREA: 15.6 SF



1 WINDOW SIGNAGE  
SCALE: 1" = 1'-0"

CAL. NO. 270-14-BZ

Platt Byard Dovell White  
Architects LLP

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New York, NY 10010  
212.691.2440  
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Project  
**EQUINOX  
92ND STREET**

Drawn by TC

Checked by JS

Scale AS NOTED

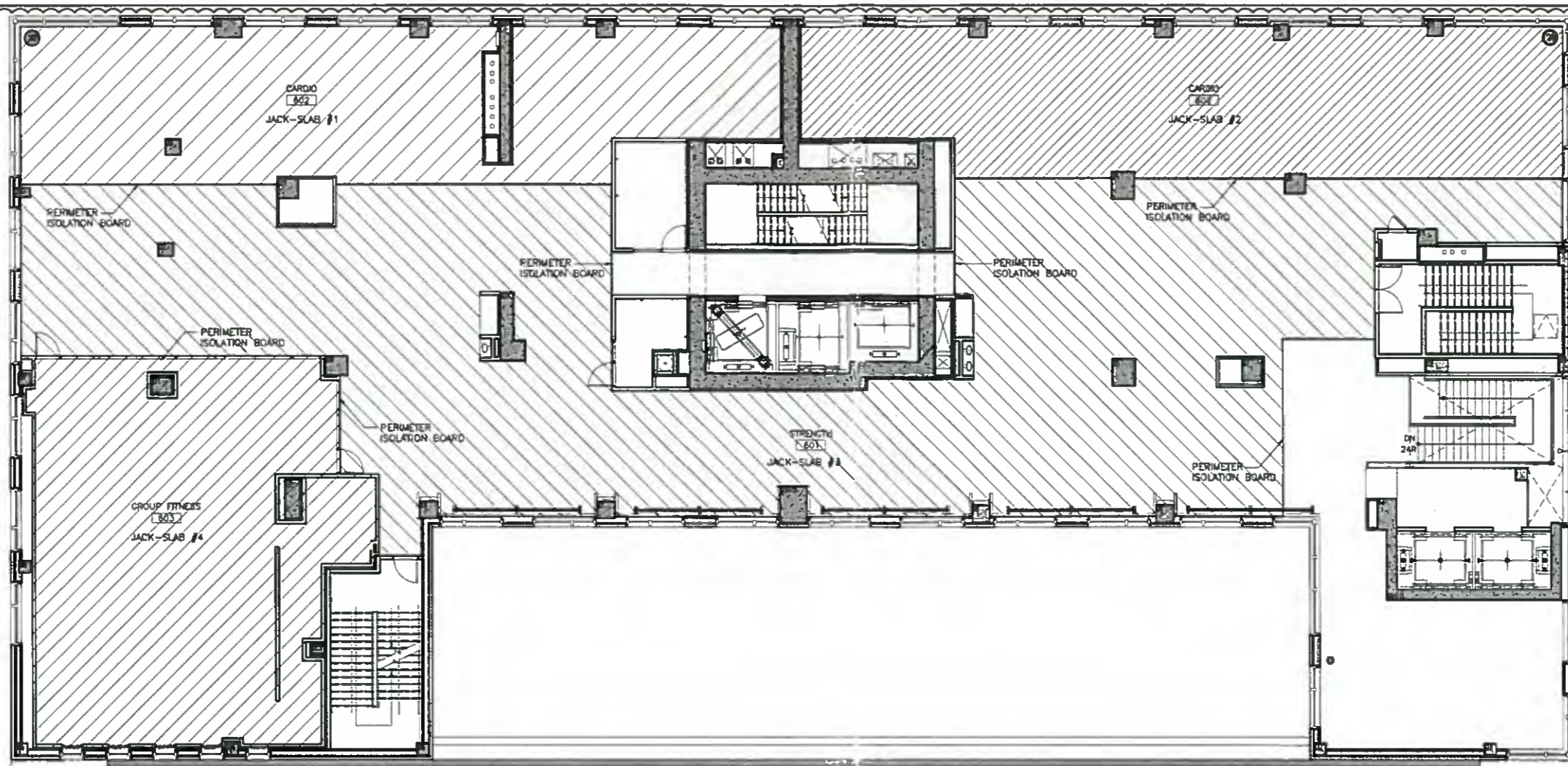
Project no. 13666

Date 07.02.15

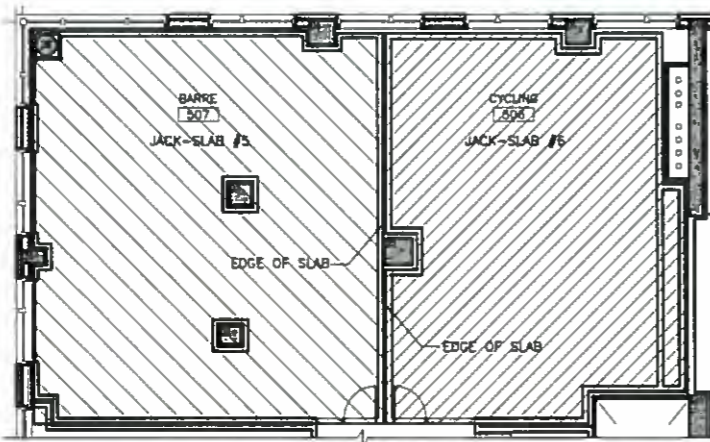
Sheet title  
**PROPOSED  
SIGNAGE**

Sheet no.

**BSA-18**



6TH FLOOR JACK-SLAB LOCATIONS A6  
FLOOR PLAN 1/4" = 1'-0"



5TH FLOOR JACK-SLAB LOCATIONS A5  
FLOOR PLAN 1/4" = 1'-0"

**APPROVED PLANS  
BOARD OF STANDARDS AND APPEALS**

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Refer to the Certified Resolution language for the scope and specific description of the BSA approval.

LEGEND

- EXTENT OF JACK-SLAB
- AREA OF JACK-SLAB (VARIES)

SHEET NOTES

1. WATERPROOFING TO BE CONTINUOUS THROUGHOUT MEN'S LOCKER ROOM, WOMEN'S LOCKER ROOM, MEN'S RESTROOM, WOMEN'S RESTROOM, STEAM ROOMS, SPAS AND LAUNDRY. PROVIDE 24-HOUR FLOOD TEST.
2. ALL DIMENSIONS ARE TO FACE OF FRAMING UNLESS OTHERWISE NOTED.

04.01.15	1	ADDENDUM #1
02.27.15		ISSUED FOR CONSTRUCTION
05.23.14		100% CD SET
05.05.14		50% CD SET
04.04.14		DESIGN DEVELOPMENT
03.14.14		DD PROGRESS SET
12.20.13		SCHEMATIC DESIGN
Date:	No:	Description

Project: EQUINOX

205 EAST 82ND STREET  
New York, NY 10128

Sheet Title: JACK-SLAB LOCATION

Project Number: 13668	Signature & Seal
Drawn By: TC	
Checked By: PBDW	
Scale: 1/8" = 1'-0"	
Sheet Number:	

A-004

270-14-BZ

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OneLux Studio

Lighting Design 158 West 29th Street New York, New York 10011 212 201 5790

Eremos LLC

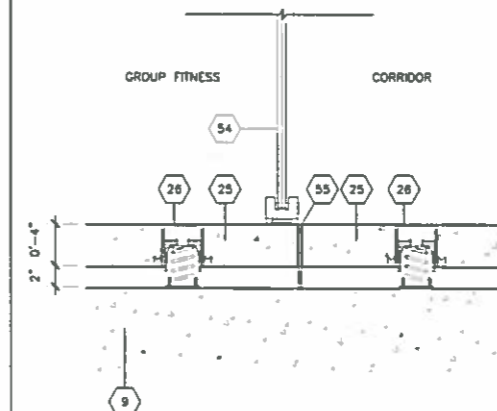
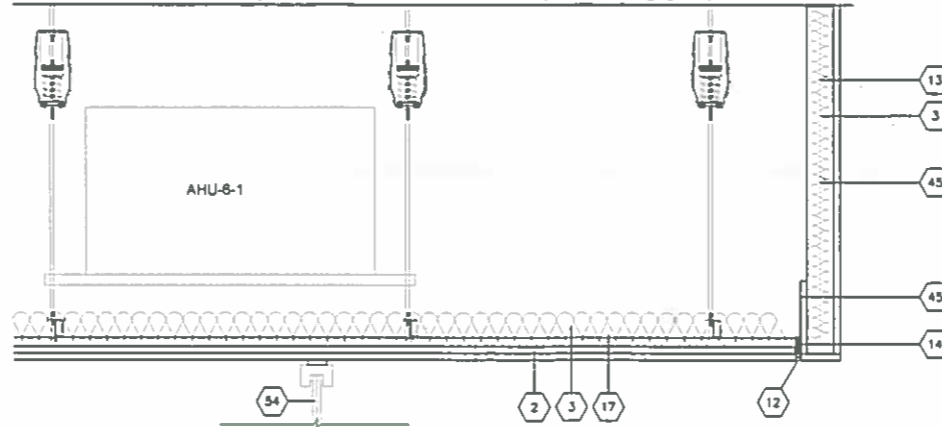
Acoustic Consultant 2005 Merrick Road #304 Merrick, New York 11566 516 578 5914

APPROVED PLANS BOARD OF STANDARDS AND APPEALS

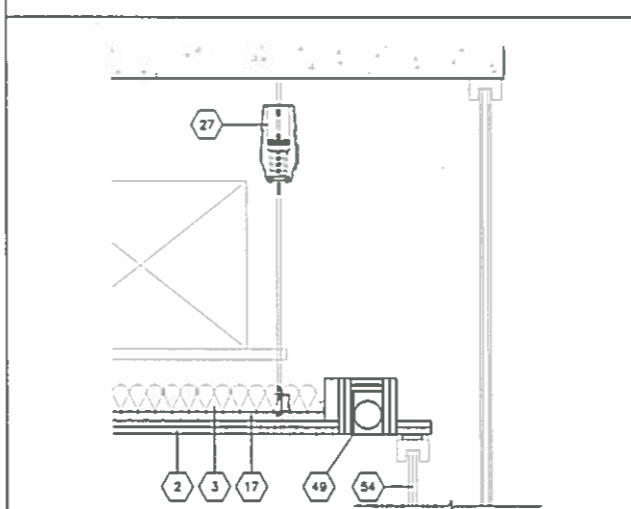
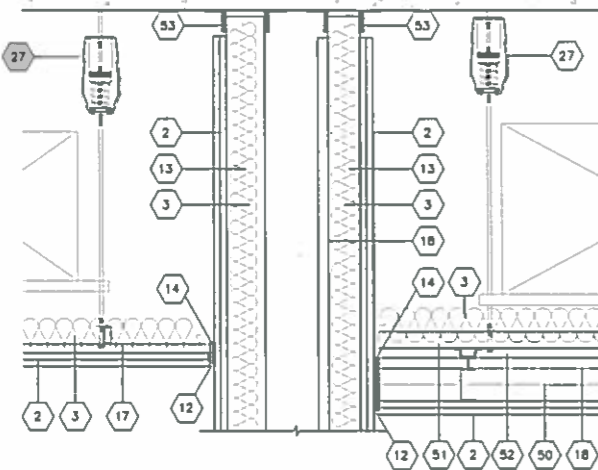
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NOTE: ENSURE CEILING IS FULLY DEFLECTED PRIOR TO FINAL STOREFRONT DIMENSIONING AND INSTALLATION

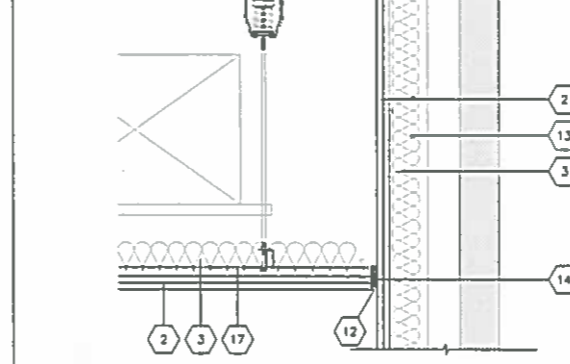


NOTE: STOP FRAMING MIN 1/2" BELOW DECK. NO RIGID CONTACT WITH STRUCTURE



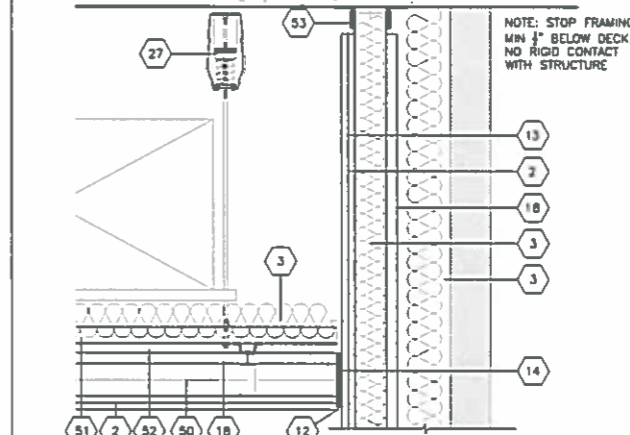
GROUP FITNESS STOREFRONT W/ HVAC EQUIPMENT SOFFIT 1 1/2" = 1'-0"

NOTE: STOP FRAMING MIN 1/2" BELOW DECK. NO RIGID CONTACT WITH STRUCTURE

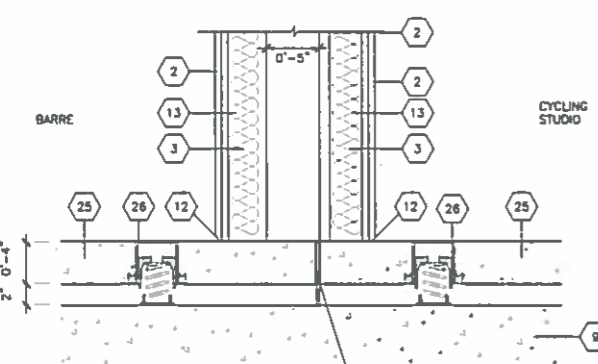


GROUP FITNESS GROUP FITNESS TO CORRIDOR @ STOREFRONT 1 1/2" = 1'-0"

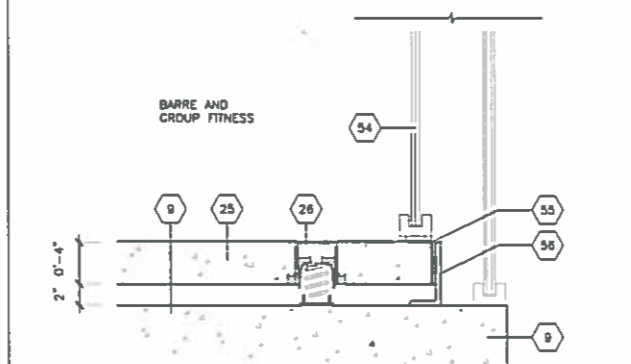
NOTE: STOP FRAMING MIN 1/2" BELOW DECK. NO RIGID CONTACT WITH STRUCTURE



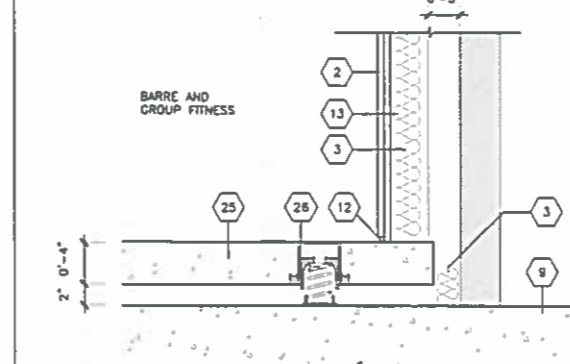
ISOLATED ROOM-WITHIN-A-ROOM AT CLG BARRE TO CYCLING 1 1/2" = 1'-0"



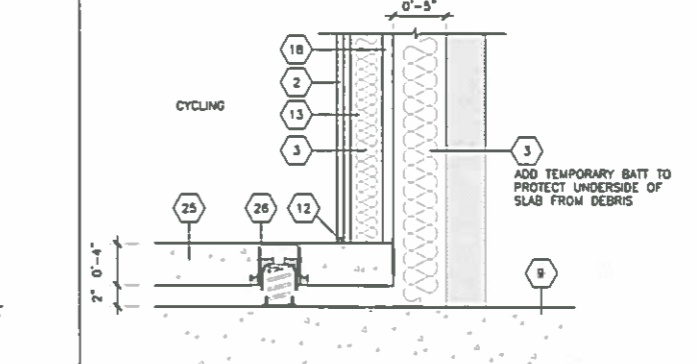
ISOLATED ROOM-WITHIN-A-ROOM AT CLG BARRE & GROUP FITNESS 1 1/2" = 1'-0"



ISOLATED ROOM-WITHIN-A-ROOM AT CLG BARRE & GROUP FITNESS 1 1/2" = 1'-0"



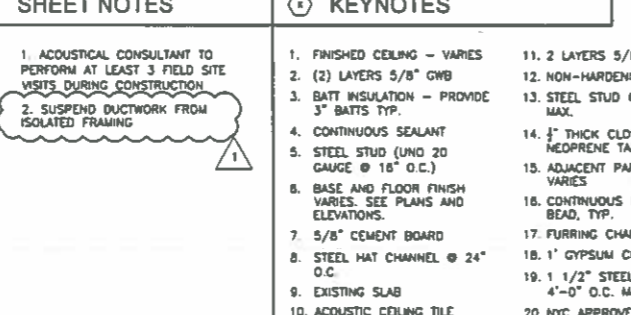
ISOLATED ROOM-WITHIN-A-ROOM AT CLG CYCLING 1 1/2" = 1'-0"



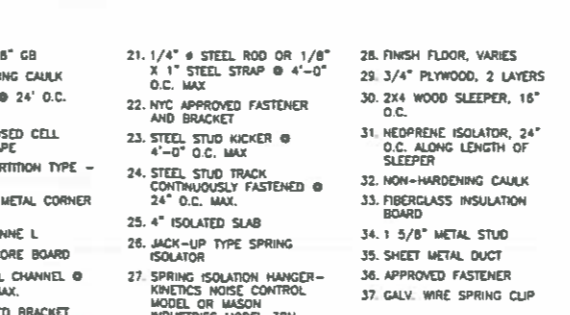
ISOLATED ROOM-WITHIN-A-ROOM AT SLAB BARRE TO CYCLING 1 1/2" = 1'-0"



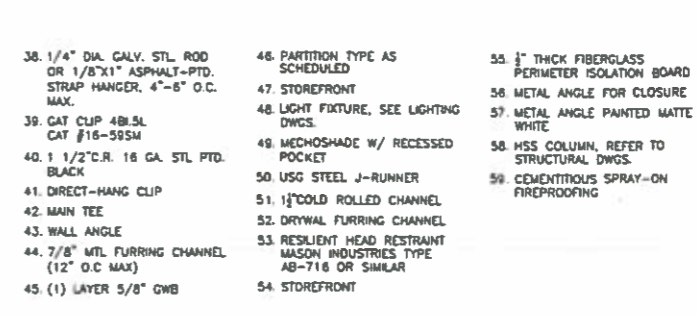
ISOLATED ROOM-WITHIN-A-ROOM AT SLAB BARRE & GROUP FITNESS 1 1/2" = 1'-0"



ISOLATED ROOM-WITHIN-A-ROOM AT SLAB BARRE & GROUP FITNESS 1 1/2" = 1'-0"



ISOLATED ROOM-WITHIN-A-ROOM AT SLAB CYCLING 1 1/2" = 1'-0"



LEGEND

SHEET NOTES

KEYNOTES

- 1. ACoustical CONSULTANT TO PERFORM AT LEAST 3 FIELD SITE VISITS DURING CONSTRUCTION
2. SUSPEND DUCTWORK FROM ISOLATED FRAMING

- 1. FINISHED CEILING - VARIES
2. (2) LAYERS 5/8" GWB
3. BATT INSULATION - PROVIDE 3" BATTIS TYP.

- 11. 2 LAYERS 5/8" GB
12. NON-HARDENING CAULK
13. STEEL STUD @ 24" O.C. MAX.

- 21. 1/4" x 1" STEEL ROD OR 1/8" x 1" STEEL STRAP @ 4'-0" O.C. MAX
22. NYC APPROVED FASTENER AND BRACKET

- 28. FINISH FLOOR, VARIES
29. 3/4" PLYWOOD, 2 LAYERS
30. 2x4 WOOD SLEEPER, 16" O.C.

- 38. 1/4" DIA. GALV. STL ROD OR 1/8"x1" ASPHALT-PTD. STRAP HANGER, 4"-8" O.C. MAX
39. CAT CLIP 48L5L CAT #16-59SM

- 46. PARTITION TYPE AS SCHEDULED
47. STOREFRONT
48. LIGHT FIXTURE, SEE LIGHTING DWGS.

- 55. 1/2" THICK FIBERGLASS PERIMETER ISOLATION BOARD
56. METAL ANGLE FOR CLOSURE

Revision table with columns for Date, No, and Description. Includes entries for Addendum #1, 100% CD SET, 50% CD SET, DESIGN DEVELOPMENT, DD PROGRESS SET, SCHEMATIC DESIGN.

Project EQUINOX
205 EAST 92ND STREET
New York, NY 10128

ACOUSTIC ISOLATION DETAILS - FLOOR AND WALL DETAILS

Project information table including Project Number (13686), Drawn By (TC), Checked By (PBW), Scale (AS NOTED), and Sheet Number.

A-432

**Platt Byard Dovell White**  
Architects, LLP

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212 695 1000

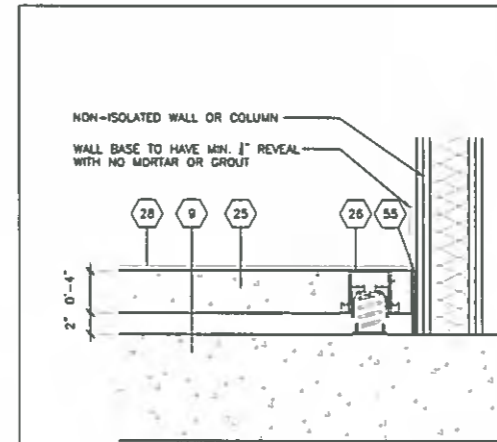
**Anastos Engineering Associates**  
Structural Engineers  
240 West 35th Street  
New York, New York 10001  
212 714 0993

**OneLux Studio**  
Lighting Design  
158 West 29th Street  
New York, New York 10001  
212 201 5790

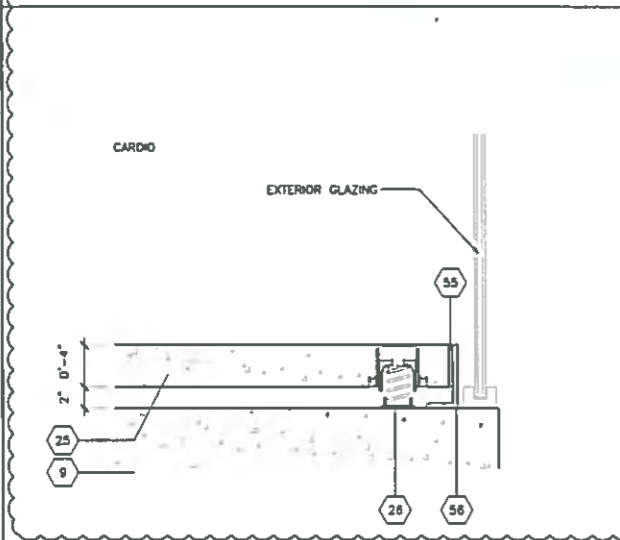
**Eremos LLC**  
Acoustic Consultant  
2005 Merrick Road #304  
Merrick, New York 11566  
516 578 5914

**APPROVED PLANS  
BOARD OF STANDARDS AND APPEALS**

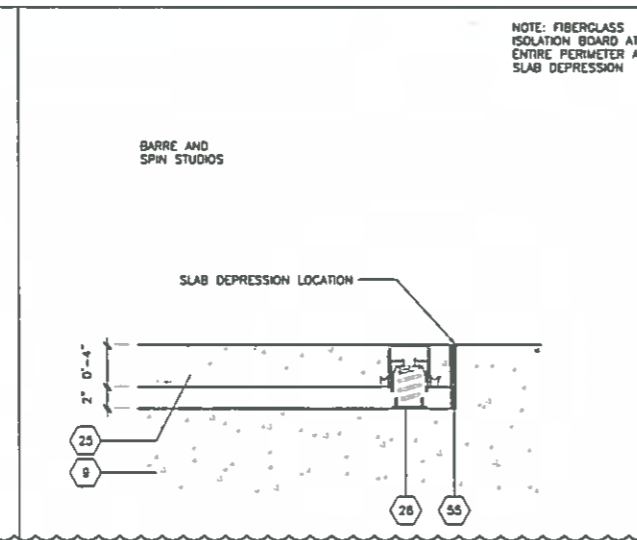
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Refer to the Certified Resolution language for the scope and specific description of the BSA approval.



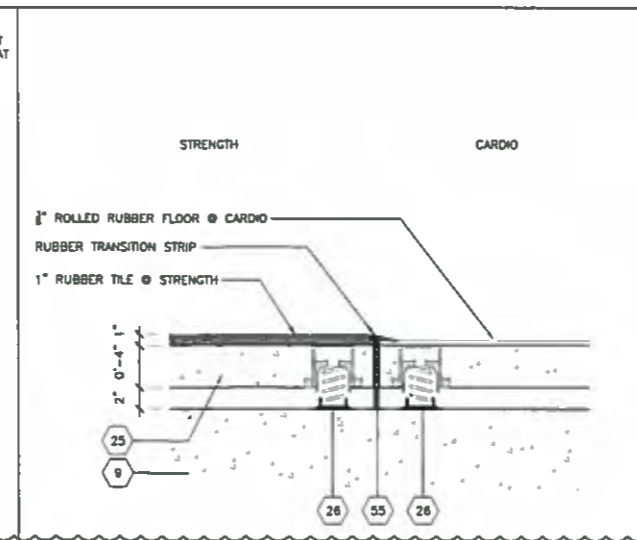
ISOLATED FLOOR TO NON-ISOLATED PARTITIONS A4  
CYCLING 1 1/2" = 1'-0"



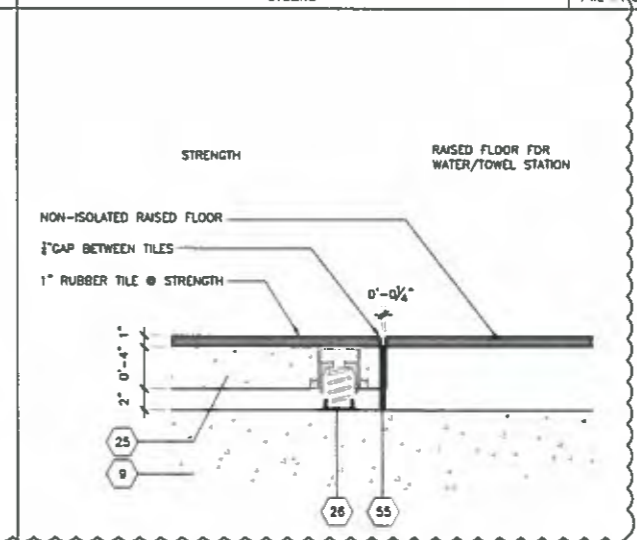
ISOLATED FLOOR TO EXTERIOR GLAZING G2  
CYCLING 1 1/2" = 1'-0"



DEPRESSED SLAB CONDITION E2  
DETAIL 1 1/2" = 1'-0"



STRENGTH TO CARDIO C2  
DETAIL 1 1/2" = 1'-0"



STRENGTH TO NON-ISOLATED RAISED FLOOR A2  
DETAIL 1 1/2" = 1'-0"

**LEGEND**

25	2" 0'-4" (CYCLING)
9	2" 0'-4" (CYCLING)
26	2" 0'-4" (CYCLING)
55	1/2" THICK FIBERGLASS PERIMETER ISOLATION BOARD

**SHEET NOTES**

- ACOUSTICAL CONSULTANT TO PERFORM AT LEAST 3 FIELD SITE VISITS DURING CONSTRUCTION
- FINISHED CEILING - VARIES
- (2) LAYERS 5/8" GWB
- BATT INSULATION - PROVIDE 3" BATTS TYP.
- CONTINUOUS SEALANT
- STEEL STUD (UND 20 GAUGE @ 16" O.C.)
- BASE AND FLOOR FINISH VARIES; SEE PLANS AND ELEVATIONS.
- 5/8" CEMENT BOARD
- STEEL HAT CHANNEL @ 24" O.C.
- EXISTING SLAB
- ACOUSTIC CEILING TILE
- 2 LAYERS 5/8" GB
- NON-HARDENING CAULK
- STEEL STUD @ 24" O.C. MAX.
- 1/2" THICK CLOSED CELL NEOPRENE TAPE
- ADJACENT PARTITION TYPE - VARIES
- CONTINUOUS METAL CORNER BEAD, TYP.
- FURRING CHANNEL
- 1" GYPSUM CORE BOARD
- 1 1/2" STEEL CHANNEL @ 4'-0" O.C. MAX.
- NYC APPROVED BRACKET

**KEYNOTES**

- 1/4" @ STEEL ROD OR 1/8" X 1" STEEL STRAP @ 4'-0" O.C. MAX
- NYC APPROVED FASTENER AND BRACKET
- STEEL STUD KICKER @ 4'-0" O.C. MAX
- STEEL STUD TRACK CONTINUOUSLY FASTENED @ 24" O.C. MAX.
- 4" ISOLATED SLAB
- JACK-UP TYPE SPRING ISOLATOR
- SPRING ISOLATION HANGER-KINETICS NOISE CONTROL MODEL OR MASON INDUSTRIES MODEL 30N
- FINISH FLOOR, VARIES
- 3/4" PLYWOOD, 2 LAYERS
- 2X4 WOOD SLEEPER, 16" O.C.
- NEOPRENE ISOLATOR, 24" O.C. ALONG LENGTH OF SLEEPER
- NON-HARDENING CAULK
- FIBERGLASS INSULATION BOARD
- 1 5/8" METAL STUD
- SHEET METAL DUCT
- APPROVED FASTENER
- GALV. WIRE SPRING CLIP

**KEYNOTES**

- 1/4" DIA. GALV. STL. ROD OR 1/8"x1" ASPHALT-PTD. STRAP HANGER, 4"-6" O.C. MAX.
- GAT CLIP 48.5L CAT #16-595M
- 1/2" C.R. 16 GA. STL. PTD. BLACK
- DIRECT-HANG CLIP
- MAIN TEE
- WALL ANGLE
- 7/8" UTL FURRING CHANNEL (12" O.C. MAX)
- (1) LAYER 5/8" GWB
- PARTITION TYPE AS SCHEDULED
- STOREFRONT
- LIGHT FIXTURE, SEE LIGHTING DWGS.
- MECHOSHADE W/ RECESSED POCKET
- USG STEEL J-RUNNER
- 1 1/2" COLD ROLLED CHANNEL
- DRYWAL FURRING CHANNEL
- RESILIENT HEAD RESTRAINT MASON INDUSTRIES TYPE AB-718 OR SIMILAR
- STOREFRONT
- 1/2" THICK FIBERGLASS PERIMETER ISOLATION BOARD
- METAL ANGLE FOR CLOSURE
- METAL ANGLE PAINTED MATTE WHITE
- HSS COLUMN. REFER TO STRUCTURAL DWGS.
- CEMENTITIOUS SPRAY-ON FIREPROOFING

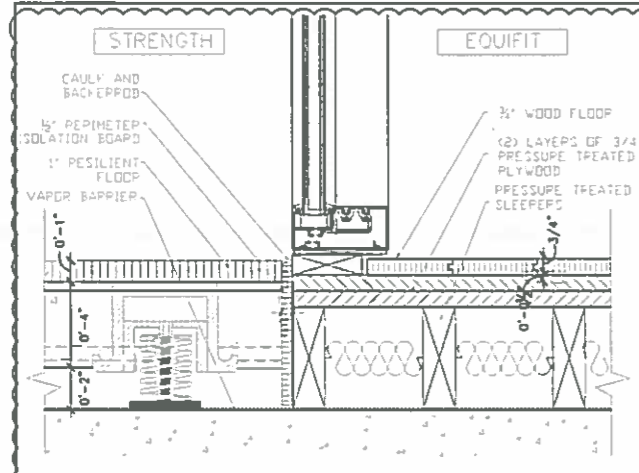
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04.01.15	1	ADDENDUM #1
02.27.15		ISSUED FOR CONSTRUCTION
05.23.14		100% CD SET
05.05.14		50% CD SET
04.04.14		DESIGN DEVELOPMENT
03.14.14		DD PROGRESS SET
12.20.13		SCHEMATIC DESIGN

Project: **EQUINOX**  
205 EAST 92ND STREET  
New York, NY 10128

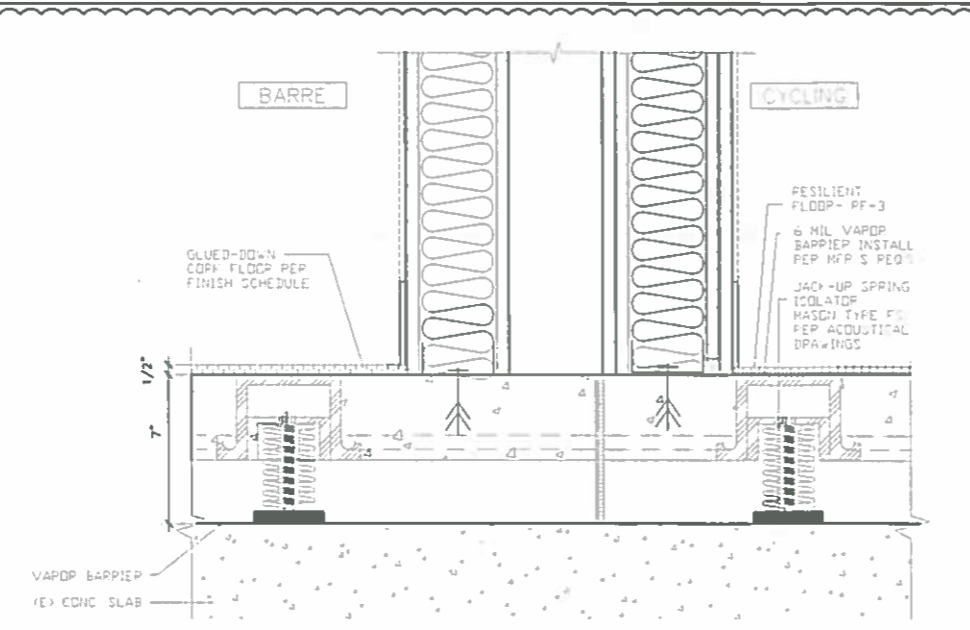
**ACOUSTIC ISOLATION  
DETAILS - FLOOR DETAILS  
II**

Project Number: 13666  
Signature & Seal: \_\_\_\_\_  
Drawn By: ABC  
Checked By: PBDW  
Scale: AS NOTED  
Sheet Number: **A-433**

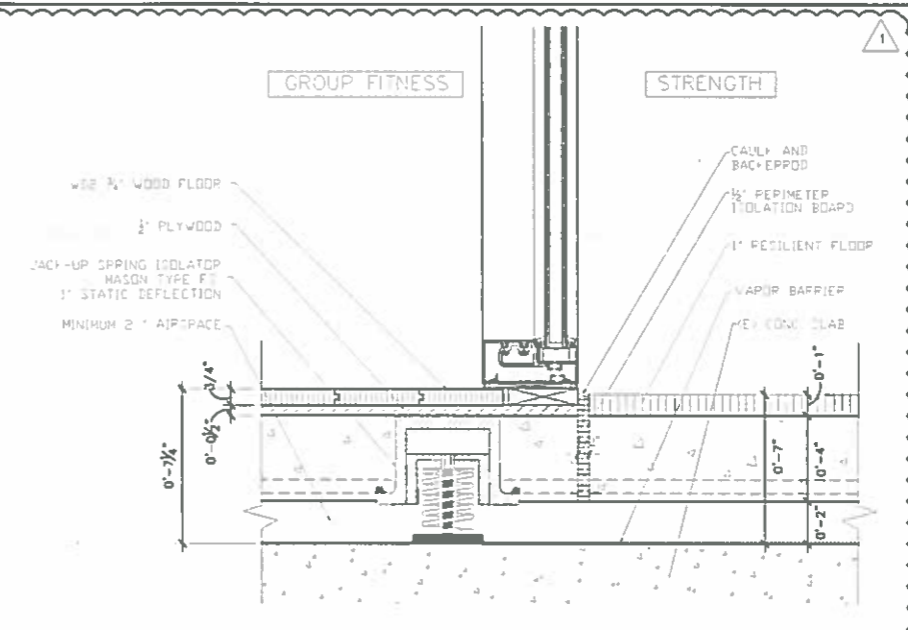




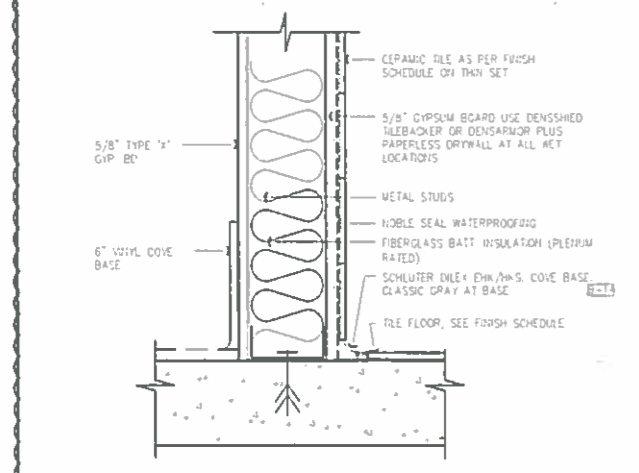
**FLOOR TRANSITION DETAIL** E5  
STRENGTH - EQUIFIT/PF 3" x 1'-0"



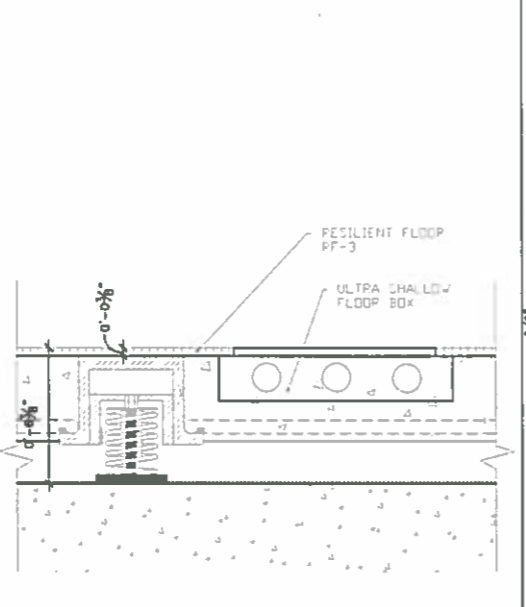
**FLOOR TRANSITION DETAIL** C5  
BARRE - CYCLING 3" x 1'-0"



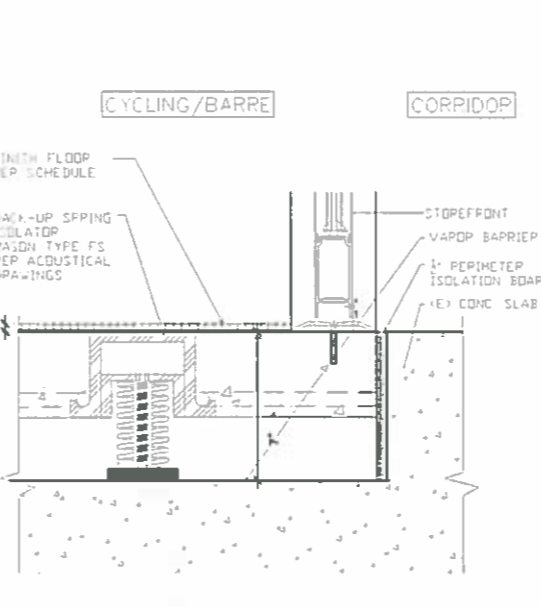
**FLOOR TRANSITION DETAIL** A5  
GROUP FIT - STRENGTH 3" x 1'-0"



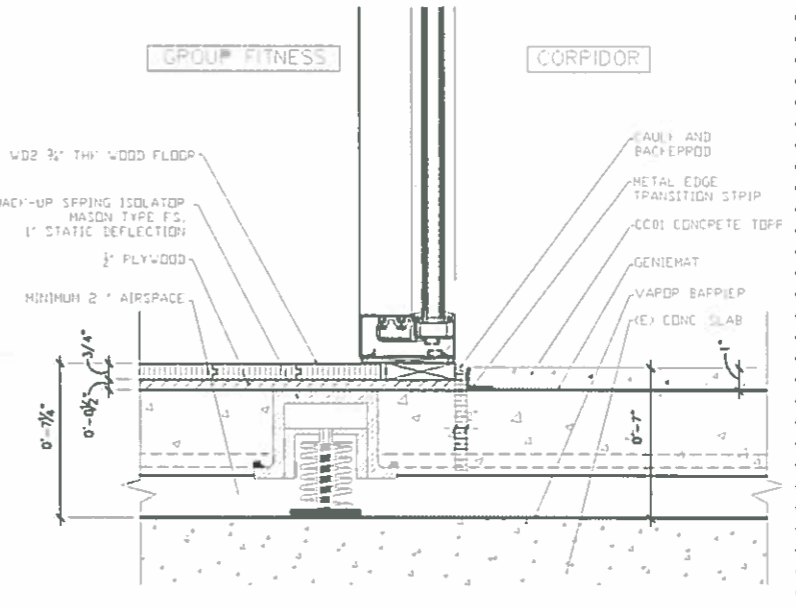
**E4** D4  
TYPICAL 3" x 1'-0"



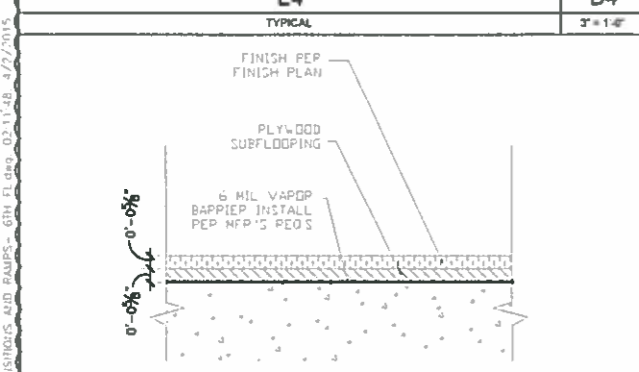
**FLOOR TRANSITION DETAIL** D3  
CORRIDOR ELECTRICAL DETAIL 3" x 1'-0"



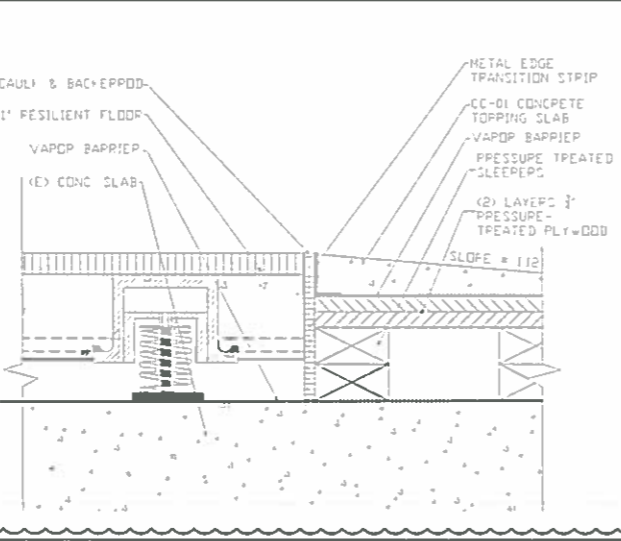
**FLOOR TRANSITION DETAIL** C3  
CYCLING/BARRE - CORRIDOR 3" x 1'-0"



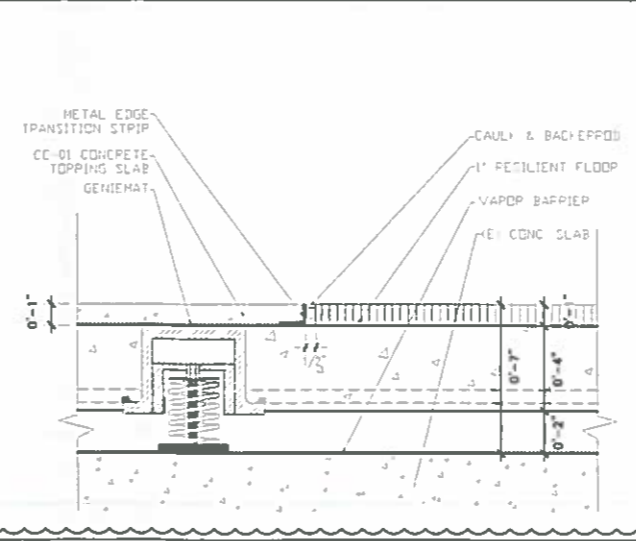
**FLOOR TRANSITION DETAIL** A3  
GROUP FIT - CORRIDOR 3" x 1'-0"



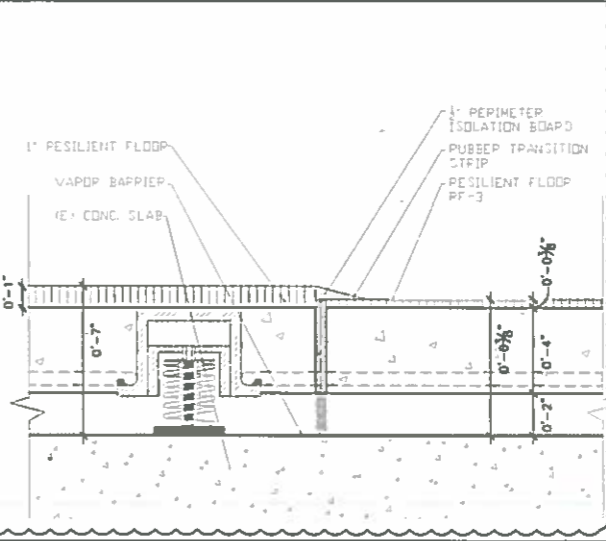
**E2** E2  
TYPICAL 3" x 1'-0"



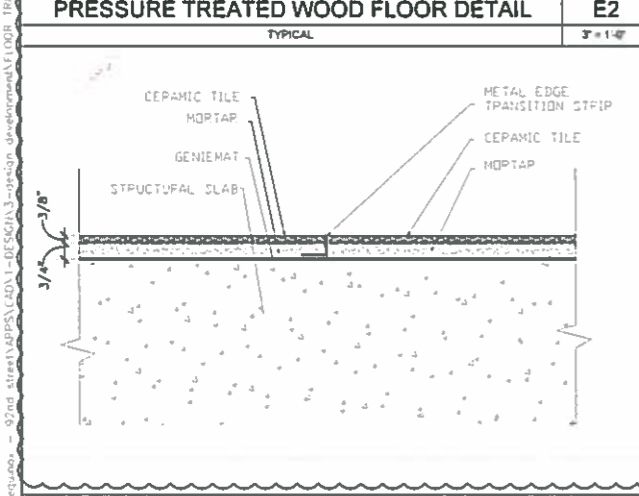
**FLOOR TRANSITION DETAIL** D1  
STRENGTH @ RAMP 3" x 1'-0"



**FLOOR TRANSITION DETAIL** B1  
CORRIDOR - STRENGTH 3" x 1'-0"



**FLOOR TRANSITION DETAIL** A1  
STRENGTH - CARDIO 3" x 1'-0"



**FLOOR TRANSITION DETAIL** E1  
TILE TO TILE 3" x 1'-0"

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Date	No	Description
04.01.15	1	ADDENDUM #1
02.27.15		ISSUED FOR CONSTRUCTION
05.23.14		100% CD SET
05.05.14		50% CD SET
04.04.14		DESIGN DEVELOPMENT
03.14.14		DD PROGRESS SET
12.20.13		SCHEMATIC DESIGN

**EQUINOX**

205 EAST 92ND STREET  
New York, NY 10128

**FLOOR TRANSITIONS**

Project Number 13668	Signature & Seal
Drawn By ABC	
Checked By PBOW	
Scale AS NOTED	
Sheet Number	

**A-435**

270-14-BZ

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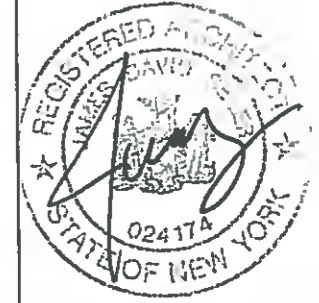
20 West 22nd Street  
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212.201.5790

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516.574.5914



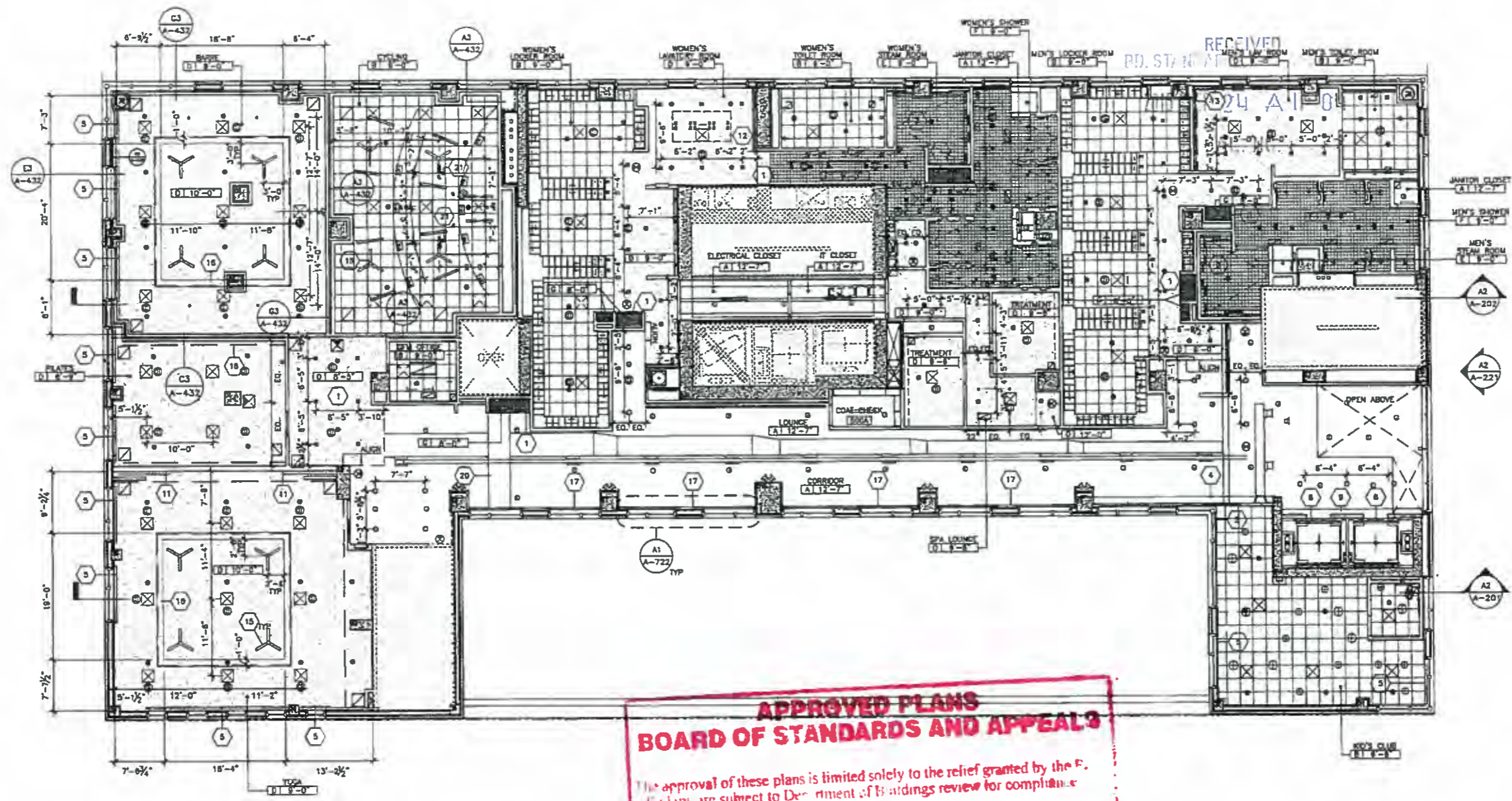
07.06.13	4	BSA
08.05.13	3	ADDENDUM #3
03.08.13	2	ADDENDUM #2
04.01.13	1	ADDENDUM #1
02.27.13		ISSUED FOR CONSTRUCTION
05.23.14		100% CD SET
06.05.14		50% CD SET
04.04.14		DESIGN DEVELOPMENT
03.14.14		DD PROGRESS SET
12.20.13		SCHEMATIC DESIGN

**EQUINOX**

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New York, NY 10128

**FIFTH FLOOR REFLECTED CEILING PLAN**

Project Number 13666	Signature & Seal
Drawn By: TC	
Checked By: JS	Scale: AS NOTED
Sheet Number <b>A-122.00</b>	



**APPROVED PLANS**  
**BOARD OF STANDARDS AND APPEALS**

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**LEGEND**

	GYPSUM BOARD
	ACOUSTICAL TILE
	CERAMIC TILE
	AREA OUTSIDE OF SCOPE
	AIR DIFFUSER

**CEILING CONSTRUCTION TYPE**

A	NO CEILING
B	2X2 ACOUSTIC CEILING - SEE FINISH SCHEDULE
C	NOT USED
D	CWB
E	PORCELAIN TILE 12"x24"
F	PORCELAIN TILE 9"x9"
G	PORCELAIN TILE MOSAIC

TYPE: HEIGHT

**KEYNOTES**

1. SOFFIT	13. VANITY WITH COVE
2. SLOPED CEILING	14. SLIDING GATE
3. NOT USED	15. CEILING FAN
4. STRUCTURE ABOVE	16. LIGHT COVE
5. MANUAL MENDO SHADE W/ RECESS POCKET	17. FB-2 - WINDOW SCREW
6. ELEVATOR	18. MENDO SHADE, SEE WINDOW SCHEDULE FOR DTLS
7. CANOPY	SEE AS/A-751 FOR DTLS
8. NOT USED	19. NOT USED
9. MIRROR	20. BASE BUILDING DUCT
10. CHASE SEE CS/A-721	21. PROJECTOR MOUNT - PROJECTOR PROVIDED BY OWNER, INSTALLED BY GC, BLOCKING REQUIRED
11. CURTAIN	22. SPEAKER
12. VANITY	

**LIGHTING LEGEND**

	CLOSE DIMMABLE
	TRACK LIGHTING
	SCONCE
	RECESSED DOWN LIGHT
	PENDANT
	RECESSED 1, 2, OR 4 LAMP FIXTURE
	WALL MOUNTED FLUORESCENT
	EMERGENCY EXIT SIGN
	2X4' FLUORESCENT
	FLUORESCENT LAMPS
	OVER CABINET FLUORESCENT
	UNDER CABINET FLUORESCENT

**MECHANICAL LEGEND**

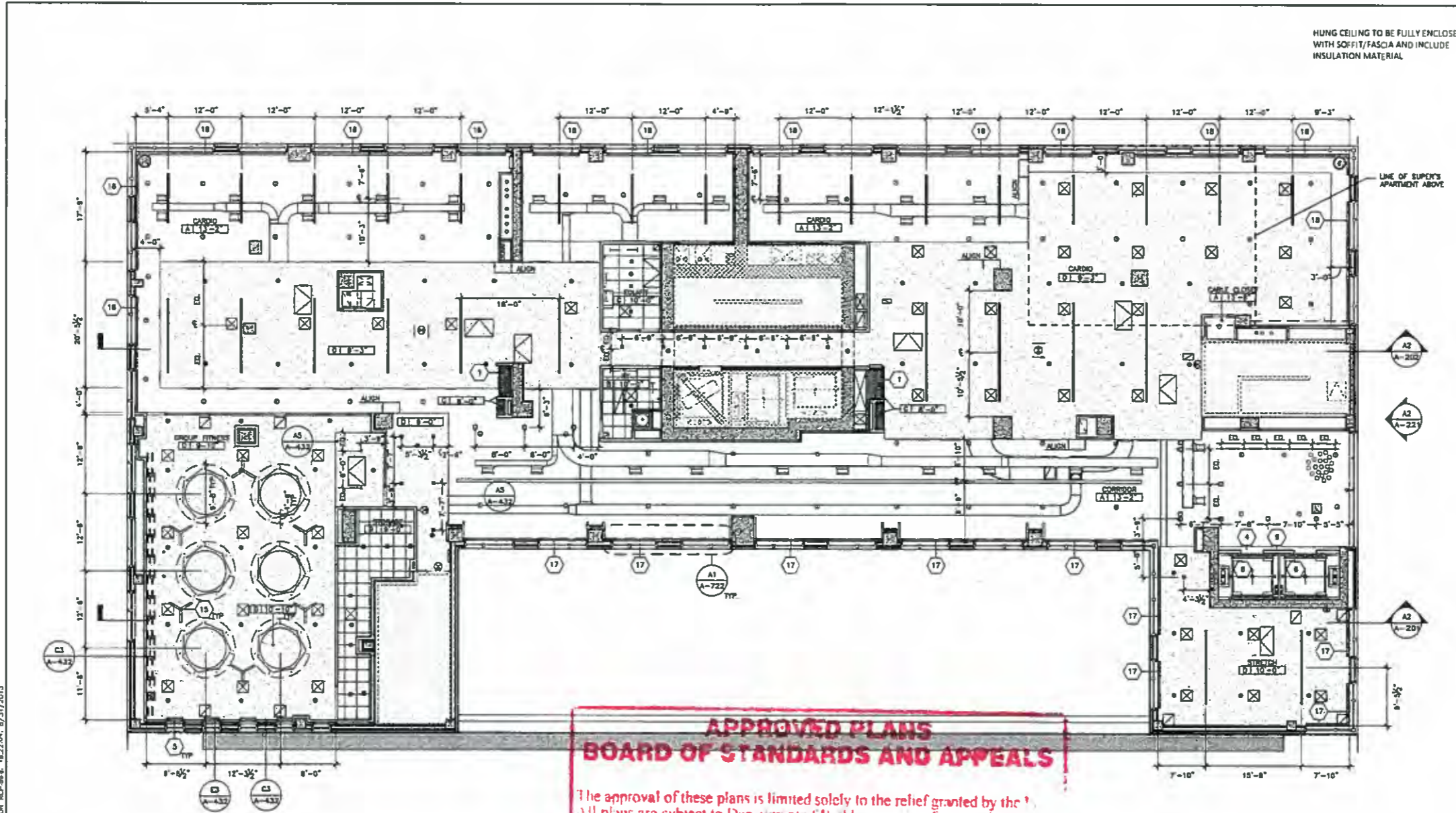
	DIFFUSER
	LINEAR DIFFUSER
	SPRINKLER HEAD, EXPOSED
	SPRINKLER HEAD, RECESSED

**AV LEGEND**

	SPEAKER
	CYCLING SPEAKER
	GROUP FITNESS SPEAKER
	FUNCTIONAL TRAINING SPEAKER

P:\168-Equinox - 92nd Street\APP\CAD\3-REGULATORY\BSA FLOOR\A-122 FIFTH FLOOR RCP.dwg, 18.36.30, 7/8/2015

270-14-BZ



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BOARD OF STANDARDS AND APPEALS**

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HUNG CEILING TO BE FULLY ENCLOSED WITH SOFFIT/FASCIA AND INCLUDE INSULATION MATERIAL

LINE OF SUPER'S APARTMENT ABOVE

**Platt Byard Dovell White Architects, LLP**

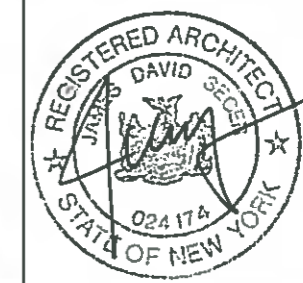
25 West 22nd Street  
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212.693.0144 fax  
www.pbw.com

**LEHR Associates**  
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**Eramos LLC**  
Acoustic Consultant  
2005 Merck Road #304  
Manhasset, New York 11968  
918.578.5914



08.31.15	4	BSA
07.08.15	3	BSA
05.08.15	2	ADDENDUM #2
04.01.15	1	ADDENDUM #1
03.11.15		ISSUED FOR BID
05.23.14		100% CD SET
05.05.14		50% CD SET
04.04.14		DESIGN DEVELOPMENT
03.14.14		DD PROGRESS SET
12.20.13		SCHEMATIC DESIGN
Date:	No:	Description:

Project: **EQUINOX**

205 EAST 92ND STREET  
New York, NY 10128

Sheet Title: **SIXTH FLOOR REFLECTED CEILING PLAN**

Project Number 13668	Signature & Seal
Drawn By: TC	
Checked By: JS	
Scale: AS NOTED	
Sheet Number <b>A-123.00</b>	

13668-1 Equinox - 12nd Street VAPPS (AO) 1 - REGULAR (BSA) PLUNGING - 123 SIXTH FLOOR RCP - Rev. 18/27/15, 8/31/2015

<p><b>LEGEND</b></p> <ul style="list-style-type: none"> <li>Gypsum Board</li> <li>Acoustical Tile</li> <li>Ceramic Tile</li> <li>Area Outside of Scope</li> <li>Air Diffuser</li> </ul>		<p><b>CEILING CONSTRUCTION TYPE</b></p> <table border="1"> <tr> <th>TYPE</th> <th>HEIGHT</th> </tr> <tr> <td>A</td> <td>NO CEILING</td> </tr> <tr> <td>B</td> <td>2X2 ACOUSTIC CEILING - SEE FINISH SCHEDULE</td> </tr> <tr> <td>C</td> <td>NOT USED</td> </tr> <tr> <td>D</td> <td>DWB</td> </tr> <tr> <td>E</td> <td>PORCELAIN TILE 12"x24"</td> </tr> <tr> <td>F</td> <td>PORCELAIN TILE 8"x8"</td> </tr> <tr> <td>G</td> <td>PORCELAIN TILE MOSAIC</td> </tr> </table>		TYPE	HEIGHT	A	NO CEILING	B	2X2 ACOUSTIC CEILING - SEE FINISH SCHEDULE	C	NOT USED	D	DWB	E	PORCELAIN TILE 12"x24"	F	PORCELAIN TILE 8"x8"	G	PORCELAIN TILE MOSAIC	<p><b>KEYNOTES</b></p> <ol style="list-style-type: none"> <li>SOFFIT</li> <li>SLOPED CEILING</li> <li>NOT USED</li> <li>STRUCTURE ABOVE</li> <li>MANUAL MESH SHADE W/ RECESS POCKET</li> <li>ELEVATOR</li> <li>CANOPY</li> <li>NOT USED</li> <li>MIRROR</li> <li>CHASE SEE ES/A-721</li> <li>CURTAIN</li> <li>VANITY</li> <li>VANITY WITH COVE</li> <li>SLIDING GATE</li> <li>CEILING FAN</li> <li>LIGHT COVE</li> <li>FB-2 - WINDOW SCRIM</li> <li>MESH SHADE, ELECTRONIC - SEE AS/A-751 FOR TITLE</li> <li>NOT USED</li> <li>BASE BUILDING DUCT</li> <li>PROJECTOR MOUNT - PROJECTOR PROVIDED BY OWNER, INSTALLED BY DC. BLOCKING REQUIRED</li> <li>SPEAKER</li> </ol>		<p><b>LIGHTING LEGEND</b></p> <ul style="list-style-type: none"> <li>Close Off</li> <li>Track Lighting</li> <li>Sconce</li> <li>Recessed Down Light</li> <li>Pendant</li> <li>Recessed 1, 2, DR 4 LAMP FIXTURE</li> <li>Wall Mounted Fluorescent</li> <li>Emergency Exit Sign</li> <li>2x4' Fluorescent</li> <li>Fluorescent Lamps</li> <li>Over Cabinet Fluorescent</li> <li>Under Cabinet Fluorescent</li> </ul>		<p><b>MECHANICAL LEGEND</b></p> <ul style="list-style-type: none"> <li>Diffuser</li> <li>Linear Diffuser</li> <li>Sprinkler Head, Exposed</li> <li>Sprinkler Head, Recessed</li> </ul>		<p><b>AV LEGEND</b></p> <ul style="list-style-type: none"> <li>Speaker</li> <li>Cycling Speaker</li> <li>Group Fitness Speaker</li> <li>Functional Training Speaker</li> </ul>	
TYPE	HEIGHT																										
A	NO CEILING																										
B	2X2 ACOUSTIC CEILING - SEE FINISH SCHEDULE																										
C	NOT USED																										
D	DWB																										
E	PORCELAIN TILE 12"x24"																										
F	PORCELAIN TILE 8"x8"																										
G	PORCELAIN TILE MOSAIC																										

M 270-14-BZ

Platt Byard Dovell White Architects, LLP

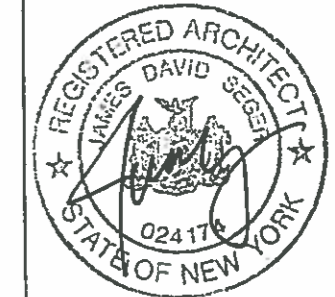
22 West 22nd Street  
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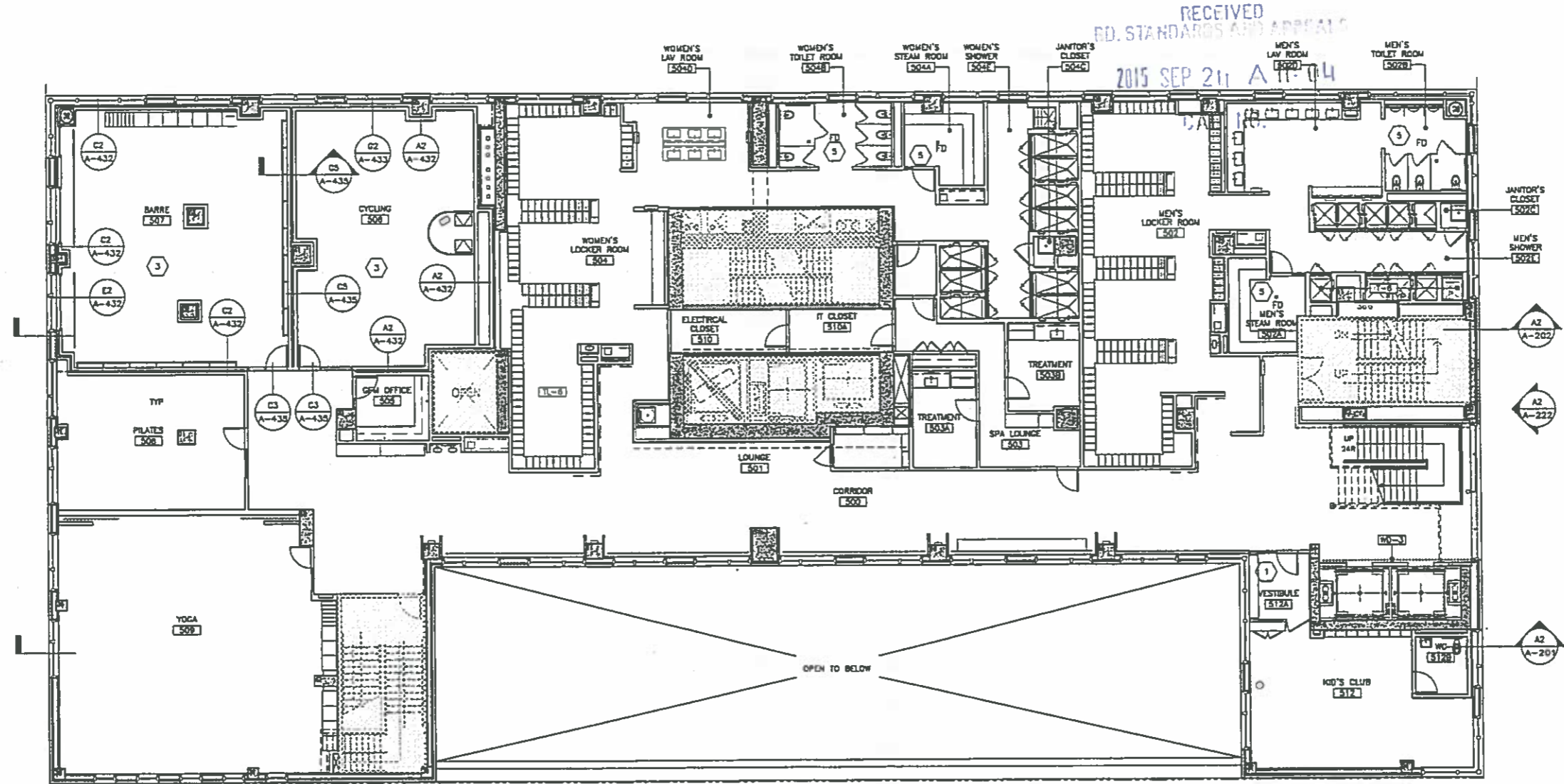
Date	No.	Description
07.06.15	3	BSA
05.09.15	2	ADDENDUM #2
04.01.15	1	ADDENDUM #1
02.27.15		ISSUED FOR CONSTRUCTION
05.23.14		100% CD SET
05.05.14		50% CD SET
04.04.14		DESIGN DEVELOPMENT
03.14.14		DD PROGRESS SET
12.20.13		SCHEMATIC DESIGN

Project:  
**EQUINOX**  
205 EAST 92ND STREET  
New York, NY 10128

Sheet Title:  
**FIFTH FLOOR FINISH PLAN**

Project Number:  
13666  
Drawn By:  
TC  
Checked By:  
JS  
Scale:  
AS NOTED  
Sheet Number:

**A-162**



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**LEGEND**

	NEW SHEAR WALL		TILE FLOOR
	NEW FIRE RATED WALL		RESILIENT FLOOR
	AREA OUTSIDE OF SCOPE		WOOD FLOOR
	FUNCTIONAL TRAINING PLANS		CONC FLOOR
	ROOM TAG		CONC FLOOR
	FLOOR DRAIN		CORK FLOOR
			STATIC DISSIPATIVE TILE

**SHEET NOTES**

- REF A-515 FOR FLOOR TYPE DESCRIPTIONS

**KEY NOTES**

- CONCRETE RAMP
- PEDBAT
- FF OVER JACK-UP SLAB BELOW
- HERRINGBONE PATTERN WOOD FLOORING
- SLOPE TO DRAIN
- RAMP
- RAISED FLOOR
- MILLWORK - REF FURN AND POWER PLANS
- NOT USED
- EQUINOX LOGO
- GRAPHIC FILM BY OWNER
- WOOD BORDER

13. PAINTED LOGO BY CC - COLOR: BM BLACK BEAUTY. OWNER TO PROVIDE GRAPHIC FILE.

FIFTH FLOOR  
FINISH PLAN  
A2  
1/8" = 1'-0"

P:\1366-Equinox - 92nd Street\PPS\CAD\REGULATORY\BSA FINISH\A-162 FIFTH FLOOR FINISH PLAN.dwg, 18/43/04, 7/6/2015

270-14-BZ

Platt Byard Dovell White Architects, LLP

20 West 22nd Street  
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212.533.0144 fax  
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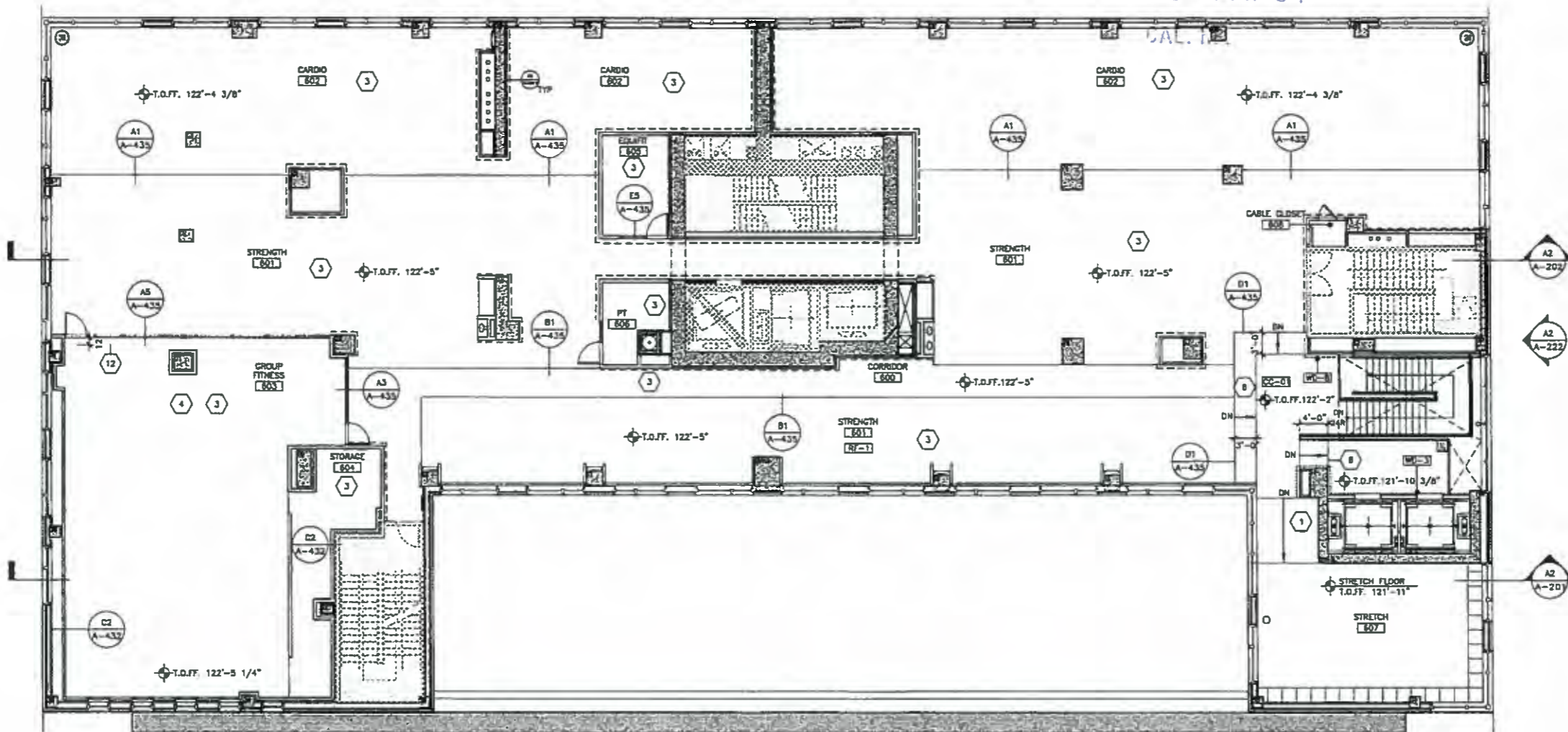
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07.08.13	3	BSA
05.08.15	2	ADDENDUM #2
04.01.15	1	ADDENDUM #1
02.27.15		ISSUED FOR CONSTRUCTION
03.23.14		100% CD SET
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04.04.14		DESIGN DEVELOPMENT
03.14.14		DD PROGRESS SET
12.20.13		SCHEMATIC DESIGN

Date: / / No: Description:  
Project:  
**EQUINOX**  
205 EAST 92ND STREET  
New York, NY 10128  
Sheet Title:

SIXTH FLOOR A2  
FINISH PLAN 1/8" = 1'-0"

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LEGEND	
	NEW SHEAR WALL
	NEW FIRE RATED WALL
	AREA OUTSIDE OF SCOPE
	FUNCTIONAL TRAINING
	ROOM TAG
	FLOOR DRAIN
	TILE FLOOR
	RESILIENT FLOOR
	WOOD FLOOR
	CONC FLOOR
	CONC FLOOR
	CORK FLOOR
	STATIC DISSIPATIVE TILE

SHEET NOTES	KEY NOTES
1. REF A-515 FOR FLOOR TYPE DESCRIPTIONS	1. CONCRETE RAMP
	2. PEGMAT
	3. FF OVER JACK-UP SLAB BELOW
	4. HERRINGBONE PATTERN WOOD FLOORING
	5. SLOPE TO DRAIN
	6. RAMP
	7. RAISED FLOOR
	8. MILLWORK - REF FURN AND POWER PLANS
	9. NOT USED
	10. EQUINOX LOGO
	11. GRAPHIC FILM BY OWNER
	12. WOOD BORDER
	13. PAINTED LOGO BY GC - COLOR: BM BLACK BEAUTY OWNER TO PROVIDE GRAPHIC FILE.

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Drawn By: TC	
Checked By: JS	
Scale: AS NOTED	
Sheet Number: <b>A-163</b>	